

**TRINITY COUNTY PLANNING COMMISSION**

**STAFF REPORT**

**PROJECT TITLE:** Appeal of Director’s Decision to Approve CCL-692

**APPELLANT:** Kathleen and William Dudley Trust (Represented by Brian and Wendi Young)

**APPLICANT:** Michael Deutsch (Trinity Flavor, LLC)

**AGENT:** Thomas Gocha, TCG Associates, LLC

**PROPERTY OWNER:** Trinity Flavor, LLC

**REPORT BY:** Bella Hedtke – Associate Planner, Cannabis Division

**LOCATION:** APN 014-180-095-000 / 504 Oatman Rd., Hayfork, CA 90641

**ZONING DISTRICT:** Heavy Industrial/ Manufacturing (M-2)<sup>1</sup>

**ZONING OVERLAY DISTRICT(S):** Flood Hazard (100-Year, No BFEs, Zone A), Critical Water Resource Overlay (CWR), ALUCP Zone E

**GENERAL PLAN DESIGNATION:** Industrial (I)

**PROJECT DESCRIPTION:** The Cannabis Division Director approved the application, which was originally submitted on February 26, 2020, for a new Small Mixed-Light Commercial Cannabis Cultivation License (CCL) 692 on March 24, 2023 and was scheduled for license issuance on or after April 12, 2023 after the 10-day appeal period ended. On April 7, 2023, an application for appeal of the approval of CCL 692 was submitted to the Trinity County Planning Department, pursuant to the standards established in Trinity County Code Section 17.34.110.

Location	Land Use	Zoning District	General Plan Designation
North	Commercial Cannabis Nursery and Cultivation	Industrial (M2)	Industrial

<sup>1</sup> At the January 25, 2018 Planning Commission meeting, Commissioners clarified that the M-2 designation is synonymous with the Industrial zoning district. The Hayfork Community Plan included maps of recommended M-2 parcels, but did not include a description of the M-2 zoning district. Reference to M-2 in the Staff Report includes Industrial zoning, as the County’s GIS database does not currently reflect this change.

<b>South</b>	Residential/Ranch	Agricultural 40-min (A40)/Agricultural Preserve (AP)	Agricultural
<b>East</b>	Residential/Waste Disposal Transfer Site	R1/Public Facility	Public Facility
<b>West</b>	TC Waterworks District Sewage Treatment Plant	Agricultural 40-min (A40)	Agricultural

Table 1: Surrounding Land Uses to Project Site (Attachment 4)

**PROJECT BACKGROUND:**

The proposed cultivation project described herein (Project) includes the cultivation of up to 10,000 square feet (sf) of mature mixed-light cannabis for a new Small Mixed-Light commercial cannabis license (CCL). The Project would operate 9,912 sf of mixed light mature cannabis canopy cultivation comprised of three 30’x100’ greenhouses, 2,880 sf of canopy, and 4,025 sf of associated support buildings. The Project is provided water by the Trinity County Waterworks District No. 1 and has an on-site sewage disposal system that is approved by Trinity County Environmental Health Division. Main access to the subject parcel is provided via an encroachment from State Highway 3 at Oatman Road, which is a private road.

**PROJECT EVALUATION:**

**Project Consistency with California Environmental Quality Act (CEQA)**

An Appendix C document was submitted to the Cannabis Division for CCL 692 on August 2, 2021. Throughout the Appendix C review process, two incomplete letters were sent to the applicant and their agent, followed by two resubmittals of the Appendix C document on May 9, 2022 and November 21, 2022.

A site inspection was performed by Cannabis Division compliance staff on July 18, 2022 to ensure that the site plan and project description included in the Appendix C were accurately prepared. No outstanding deficiencies were identified during the site visit. A completeness review was performed by Cannabis Division staff on and determined to be complete on March 22, 2023. Both the site inspection and completeness review processes are designed to verify site and application compliance with Trinity County Code Chapter 17.43 (Commercial Cannabis Cultivation Regulations). The County’s contracted environmental consultant company, LACO, prepared a compliance memorandum on March 16, 2023 with a final review performed by County environmental compliance staff, that determined that approval of this project is a “later activity” associated with the Cannabis Program EIR, as defined by subsection (c) of Section 15168, in that (i) all impacts associated with the approval of this project are within the scope of environmental review previously studied, and (ii) the requirements and mitigations required by Chapter 17.43 and 17.43G of the Trinity County Code, adequately serve to mitigate the impacts associated with approval of this project, it adequately evaluates all potential environmental impacts, and can be appropriately tiered within the Trinity County Cannabis Programmatic Environmental Impact Report. Based on the application review, site inspection and LACO’s review of the Appendix C, County environmental compliance staff recommended license approval to the planning director on March 24, 2023.

### **Project Consistency with the Trinity County Zoning Code**

Trinity County Code Section § 17.43.050 describes the locations where CCLs are not allowed in the county. The Industrial (I) Zoning District is not listed as barring commercial cannabis cultivation activities. Considering that this site is proposing to construct three greenhouses, this site will also be required to adhere to all development standards, such as drainage and landscaping, that are verified prior to building permit issuance as stated in 17.23 (Industrial Zoning), in addition to the performance standards required of all licensees in the Commercial Cannabis Program (TCC § 17.43.060). Given that the closest residential structure is approximately 800ft from the cultivation site, the project is compliant with the residential setback required by TCC § 17.43.050(A)(8).

### **Project Consistency with the Community Plan and General Plan**

The property is within an Industrial (I) land use designation. The Plan describes these areas as the following:

“Industrial areas are designated to indicate the most likely and desirable areas for industrial development including federal, state, or local facilities of an industrial nature. Industrial areas should be located near existing communities to promote energy conservation and to utilize community services as required. Industrial areas should be located so as not to adversely affect residential areas.”

This project is consistent with the Tule Creek Road Industrial Area description in the Hayfork Community Plan (County, Hayfork Community Plan, 1996). The Plan describes this area as the following:

#### **12. Tule Creek Road Industrial Area.**

**This industrial area lies between Highway 3 and Salt Creek, bounded on the north by Tule Creek Road and the south by agricultural lands. While no industrial uses are currently located in this area, it has historically supported an industrial use (sawmill), is within the water district and will likely be served by the community sewer system (once developed). It is important to note that all of the potential location sites for the proposed sewage treatment facility are located in (or adjacent to) this area. Not only is sufficient land available to accommodate such a facility, it could very well be the incentive necessary to attract industrial users to the Tule Creek site (i.e., industrial user could locate adjacent to waste treatment facility).**

### **Project Consistency with the Airport Land Use Compatibility Plan (ALUCP)**

The subject parcel is located within Zone E of the Hayfork Airport Compatibility Zones, which has the least number of land use restrictions considerations (County, Trinity County Airport Land Use Compatibility Plan, 2009). This zone is intended to preclude the development of any land uses that may generate concerns related to significant height limitations, wildlife attractants, and visual distractions. Given that the project must adhere to zoning height development standards and mitigation measures that address wildlife and aesthetic concerns, this use is compatible with Zone E restrictions.

**REASONS FOR APPEAL:**

The appellants' appeal letter outlined four (4) main complaints for appealing the approval of CCL 692 (Attachment 1). The Cannabis Division has investigated each of these complaints and provided a summary of the findings below:

**1) CCL applicant does not hold a valid Encroachment permit to enter or exit a State or County Road for the property to be permitted (Code Violation #17.20.130)**

**Response:** Given that Trinity County Code Section 17.20.130 sets forth encroachment permit standards for parcels zoned Retail Commercial, staff assumes that the Appellant may have meant to cite 17.23.150, which sets forth encroachment permit standards for parcels zoned Industrial. 17.23.150 states: "Encroachment permits shall be obtained from the department of transportation prior to the issuance of building permits when projects create a new entrance onto a county road."

In response to this appeal, referrals were sent to Caltrans – District 2 and Trinity County Department of Transportation (DOT). Senior Engineer of Trinity County DOT, Andrew Pence, replied the following response:

"The RFC seemed to be specifically requesting if an encroachment permit from the Trinity County DOT was required for the parcel. The RFC stated that the property owner would be using Oatman Road for access, and Oatman Road is a private road connecting directly to the State Highway without first connecting to a County Road. As such, this is out of Trinity County DOT jurisdiction."

Given that Oatman Road is not a County Road, section 17.23.150 does not apply to this project.

Nonetheless, in response to the referral, Caltrans is working with the applicant to develop an encroachment agreement to improve the existing encroachment off Highway 3 for this project. The agent, Thomas Gocha, has prepared a memorandum that explains the most recent update on the pending encroachment permit (Attachment 9).

Furthermore, while Trinity County Code Section § 17.43 (Commercial Cannabis Cultivation Regulations) does not mention encroachments, staff acknowledges that encroachment requirements are verified during the building permit review process.

**2) Applicant property has been issued a physical address on a driveway that they do not possess an encroachment for. This is due to their Industrial Zoning.**

**Response:** Cannabis Division staff is not aware of any regulation that impedes parcels that are zoned Industrial (I) from receiving an address. To support this claim, the Appellant provided a copy of Trinity County Zoning Ordinance 315, Sec. 23 and underlined section (P)(2) – now known as Trinity County Code (TCC) 17.23.160 (A)(1)(b). This section states:

“Access to Local Streets Prohibited: No vehicular access shall be permitted to a local street from an industrial through lot which also has frontage on a highway or collector county road.”

TCC § 17.10 (Definitions) defines a street as: "Street, public" means a street, road, or way, but not an alley, owned by or maintained by a state, county, or incorporated city.

As mentioned in the previous response, Trinity County does not have jurisdiction over private roads. Therefore, the applicant’s representative, Mr. Gocha, has provided a response to this complaint in a memorandum, dated June 12, 2023, provides the following information regarding the use of the driveway and legal access:

“Driveway & Access:

We have ongoing issues with the neighbors over the shared driveway. 501 & 504 Oatman Road share a private driveway that is reserved by a 25’ wide ingress/egress easement on TFLLC’s property. The right of way agreement was recorded April 10, 1962, in book 100, Page 424 (**See Attachment - A**). 501 Oatman has the right to use TFLLC’s property to access their landlocked property.”

**3) Applicant property is inside the sewer service district and never hooked up and is require to by ordinance #97-1.**

**Response:** The applicant’s representative, Mr. Gocha, has provided a response to this complaint in a memorandum, dated June 12, 2023:

“A new waterline was placed with coordination with the Hayfork water district in 2021. The existing septic system was removed and replaced with authorization from the Hayfork water district and the county department of EHS in 2022. (**See Attached Permit - D**).”

A referral has been sent to the Water District and Trinity County Environmental Health to verify this information and/or provide any additional commentary. An update will be uploaded to the County website in a subsequent memorandum as soon as responses are provided.

**4) Not Compliant with PRC 4290 (Calfire Code)**

In addition to the three main complaints mentioned on the Appeal form, the Appellant also attached a Cal Fire Inspector form and wrote “Why was this ignored!!” on the top left of the form. This form is included in the Building Permit Application package. PRC 4290 requirements are verified prior to building permit issuance by Calfire personnel. Given that a specific code violation was not provided, staff is unable to respond to this claim.

**PUBLIC COMMENT:**

The applicant’s representative, Thomas Gocha, provided the only public comment for this project through two memorandums, dated June 12, 2023 and July 7, 2023 (Attachments 8 & 9).

**STAFF RECOMMENDATION:**

Given that all complaints referenced in the appellant's letter were found to be unsubstantiated or outside of the jurisdictional authority of Trinity County, staff recommends that the Planning Commission make a motion to deny the appeal (P-23-10), upholding the Director's decision to approve CCL 692, with the findings referenced in this staff report.

**ALTERNATIVES:**

If the Planning Commission does not wish to deny the appeal, the following alternatives are available:

1. The Planning Commission could move to uphold the appellant's request to deny CCL 692, with findings stated by the Planning Commission.
2. In the event that more information or time is required prior to the Planning Commission making a final decision on P-23-10, the Planning Commission could move to continue to a future certain meeting date.

**ATTACHMENTS:**

- 1) Appeal of the Planning Director's Decision and Supporting Documents
- 2) CCL 692 Appendix C Site Plan
- 3) Project Location Map
- 4) Surrounding Area Uses Map
- 5) Zoning Districts Map
- 6) General Plan Designations Map
- 7) ALUCP Zone E Map
- 8) Thomas Gocha Memorandum (June 12, 2023)
- 9) Thomas Gocha Memorandum (July 7, 2023)

**REFERENCES:**

County, T. (1996). *Hayfork Community Plan*.

County, T. (2009). *Trinity County Airport Land Use Compatibility Plan*. Weaverville.



**TRINITY COUNTY**  
**COMMUNITY DEVELOPMENT SERVICES**  
 PLANNING & CANNABIS, 530 MAIN ST., PO BOX 2819  
 WEAVERVILLE, CALIFORNIA 96093  
 PHONE (530) 623-1351, FAX (530) 623-1353

Received

APR 7 2023

Trinity County  
 Planning/Cannabis

**APPLICATION TO APPEAL OF DIRECTOR'S DECISION  
 TO PLANNING COMMISSION**

DATE: 4-7-23

APPEAL FEE: \$500- due upon filing

Project # or CCL # or CCV # of application decision being appealed: CCL-692

Date of Director's decision or action: March 24 2023

Director's decision was:  Approve  Deny

**A. APPLICANT/APPELLANT INFORMATION** *The following information will be used to contact you regarding the status of your appeal (e.g. hearing dates) and is considered public record.*

NAME: Brian & Wendie Young representing Kathleen & William Dudley trust  
 PHONE: [REDACTED] EMAIL: [REDACTED]  
 MAILING ADDRESS: [REDACTED]

**B. REASON FOR APPEAL** *Clearly state the basis for the appeal and include/attach any supporting evidence if applicable.*

1. property in question does not possess an Encroachment permit to either a county or State Rd.
2. property in question does not have a hook up to city sewer
3. property in question has been issued a physical address on a driveway that they do not possess an Encroachment For.

Signature: [Signature] Date: 4-7-23

FOR OFFICE USE ONLY	
Date: <u>4-7-2023</u>	Project number: <u>P-23-10</u>
Received by: _____	Receipt number: _____
Notice Published: _____	Hearing Date: _____



COUNTY OF TRINITY

APPEAL OF PLANNING DIRECTOR'S  
DECISION TO PLANNING COMMISSION



Name: Brian & Wendi Young representing Dudley Trust Phone: 530-227-3924

Email: [REDACTED]

Physical Address or APN: 501A Oatman rd. Hayfork CA, 96041

Mailing Address: [REDACTED]

Decision of Planning Director rendered on (date): March 24 2023

Planning Director's Decision was to:  Approve  Deny  Continue

Request for: Meeting with the Planning Commission to Appeal Cannabis Permit CCL#692.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Reason for Appeal:**

1. CCL applicant does not hold a valid Encroachment permit to enter or exit a State or County road  
For the property to be permitted. Code violation # 17 20 130. #2 Applicant property has been issued  
a Physical Address on a driveway that they do not possess an Encroachment for. This is due to there  
Industrial Zoning. #3 applicant property is inside the sewer service district and never hooked up and is  
required to by ordanace #97-1

Signature: Brian & Wendi Young Date: April 7 2023

*Brian Young Wendi Young*

**Clerk's Use Only**

Date Filed: \_\_\_\_\_ Fee Collected: \_\_\_\_\_  
Hearing Date: \_\_\_\_\_ Receipt No.: \_\_\_\_\_  
Notice Published: \_\_\_\_\_ Notice Mailed: \_\_\_\_\_



# 1

MICROFILM SLIPSHEET

ROLL 00394

FRAME 000129

DISTRICT 02

COUNTY TRI

ROUTE + SFX 3

BEG. POSTMILE 5.64

END POSTMILE \_\_\_\_\_

PM PFX \_\_\_\_\_

PERMIT NO. (YYYY-F-PP-CCCC) 2006-10-R5-0348

PLAN SET # \_\_\_\_\_

NOTES \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**ENCROACHMENT PERMIT**

TR-0120 (REV. 8/2000)

00394

In compliance with (Check one):

- Your application of August 14, 2006 000129
- Utility Notice No. \_\_\_\_\_ of \_\_\_\_\_
- Agreement No. \_\_\_\_\_ of \_\_\_\_\_
- R/W Contract No. \_\_\_\_\_ of \_\_\_\_\_

TO:

Brian Young  
PO Box 326  
Hayfork CA 96041

Phone: 530-227-3924

Permit No. <b>0206-6RS-0348</b>	
Dist/Co/Rte/PM <b>02-TRI-3-5.64 LT</b>	
Date <b>August 29, 2006</b>	
Fee Paid \$ _____	Deposit \$ <b>82.00</b>
Performance Bond Amount (1) \$ _____	Payment Bond Amount (2) \$ _____
Bond Company _____	
Bond Number (1) _____	Bond Number (2) _____
Customer Reference No. _____	

, PERMITTEE

and subject to the following, PERMISSION IS HEREBY GRANTED to:

Utilize and maintain an existing Type D roadway connection serving a single family residence on the left side of State Route 3 at Post Mile 5.64 in Trinity County.

**PERMITTEE RESPONSIBILITY:** It is understood and agreed by the Permittee that utilizing this permit shall constitute an acceptance of the provisions of this Permit and all attachments.

**GENERAL SPECIFICATIONS:**

**SALE OF PROPERTY:** This encroachment permit is not transferred with the property to a new owner at the time of sale. New property owners must apply for and obtain a new permit.

(Continued)

**THIS PERMIT IS NOT A PROPERTY RIGHT AND DOES NOT TRANSFER WITH THE PROPERTY TO A NEW OWNER.**

The following attachments are also included as part of this permit (Check applicable):			In addition to fee, the permittee will be billed actual costs for:		
<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	General Provisions	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Review
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Utility Maintenance Provisions	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Inspection
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Special Provisions	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Field Work
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	A Cal-OSHA permit, if required: Permit No. _____	(If any Caltrans effort expended)		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	As-Built Plans Submittal Route Slip for Locally Advertised Projects			
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Storm Water Pollution Protection Plan			
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	The information in the environmental documentation has been reviewed and is considered prior to approval of this permit.			

This permit is void unless the work is completed before N/A.

This permit is to be strictly construed and no other work other than specifically mentioned is hereby authorized. No project work shall be commenced until all other necessary permits and environmental clearances have been obtained.

1 - Permittee  
2 - Kubisch

APPROVED:

BRIAN CRANE, District Director, District 2

BY:

*Gacey Barnes*  
JM STACEY BARNES, District Permit Engineer, District 2

Name: Brian Young  
Permit No.: 0206-6RS-0348  
Date: August 29, 2006

**LIABILITY FOR DAMAGES:** Permittee shall be liable for damage to the State highway caused by his operation. Permittee shall hold the State of California harmless for damage to Permittee's facilities caused by highway maintenance or construction.

**USE OF CONNECTION:** If Permittee changes the use of this road connection to other than what is defined in this permit, Permittee shall apply for an encroachment permit for the alternate use and may be subject to additional improvements including, but not limited to, paving, widening, and/or drainage improvements.

**TERMS OF PERMIT:** Any failure on the part of Permittee or his contractor or agent to abide by the terms of this permit or the requests or instructions of State's Representative shall be just cause for immediate stoppage of the work and/or revocation of the permit.

**MAINTENANCE OF FACILITIES:**

**MAINTENANCE OF FACILITIES:** Permittee is responsible for all routine and emergency maintenance of any facilities constructed or permitted under this permit. Routine road approach maintenance includes, but is not limited to, pavement repairs, restriping, replacement/maintenance of signs, keeping approach culvert(s) clear, and snow removal (including berms created by highway plowing operations.)

**MAINTENANCE ENCROACHMENT PERMIT:** All routine and emergency maintenance work required for facilities located within the State right-of-way will require a separate encroachment permit.

**MAINTENANCE FOR SITE DISTANCE:** Trees and brush shall be cut or trimmed and additional grading done to provide sight distance, as directed by State's Representative. For as long as Permittee utilizes the road connection, Permittee is responsible to maintain sight distance through the trimming or removal of offending vegetation.

GENERAL PROVISIONS (Rev. 8/04)

STORM WATER PROVISIONS (TR-XXXX 4/21/04)

**UTILITY PROVISIONS**

- Overhead Utility Provisions (TR-0162 Rev. 12/01)
- Underground Utility Provison (TR-0163 Rev. 04/02)
- Utility Maintenance Provisions (TR-0161 Rev. 12/01)
- Annual Utility Provisions (TR-0160 Rev. 12/01)

**TRAFFIC CONTROL:**

- T-10 (Standard Plans Rev. 5/06)
- T-11 " "
- T-12 " "
- T-13 " "
- Other: \_\_\_\_\_

COMPLETION POSTCARD

ADOPT-A-HIGHWAY SAFETY REQUIREMENTS & SAFETY PROVISIONS (Rev. 03/06)

BANNER DETAIL (Rev. 1993)

GUIDELINES FOR PLACEMENT OF NEWSPAPER VENDING & AGREEMENT (12/02)

**TYPICALS:**

**ROAD CONNECTIONS:**

- TYPE A (Rev. 10/98)
- TYPE B "
- TYPE C "
- TYPE D "
- X-1 (Rev. 12/90)
- X-3 "
- X-4 "
- X-5 "

DELINEATOR "

SAFETY FOR SURVEYORS (Rev. 11/97)

STANDARD TYPICAL TRENCHING DETAILS

OPEN TRENCH SIGNING & MARKING

HORIZONTAL DIRECTIONAL DRILLING (07/03)

LANE CLOSURE SCHEDULE

D94A & D97A-G (Standard Plans Rev. 07/04)

GUIDELINES FOR DISCOUNT BOOKLETS (09/04)

OTHER: \_\_\_\_\_

REV. #29 - 5/06

**NOTE:**

After this permit has been microfilmed, you can find the attachments on Frame 1 of the microfilm roll.

(On microfilm rolls 344-347, the attachments are at the end of the roll and the frame numbers are referenced on the microfilm roll.)

STATE OF CALIFORNIA - DEPARTMENT OF TRANSPORTATION  
**STANDARD ENCROACHMENT PERMIT APPLICATION**  
 TR-0100 (REV. 01/2004)

Permission is requested to encroach on the State highway right-of-way as follows:  
 (Complete all BOXES (write N/A if not applicable))  
 This application is not complete until all requirements have been approved.

FOR CALTRANS USE	
PERMIT NO.	0206-GRS-0348
DIST/COR/TE/PM	02-TRI-3-5.64
SIMPLEX STAMP	
000348	
DATE OF SIMPLEX STAMP	02 07 06
10. EST. COMPLETION DATE	
11. EXCAVATION	12. EST. COST IN STATE R/W
13. PIPES	14. CALTRANS PROJECT E.A. NUMBER

1. COUNTY	2. ROUTE	3. POSTMILE
TRINITY	3	5.64 LT
4. ADDRESS OR STREET NAME	5. CITY	
	Hayfork	
6. CROSS STREET (Distance and direction from site)	7. PORTION OF RIGHT-OF-WAY	
0.06 s. of road to County Dump	EP to R/W	
8. WORK TO BE PERFORMED BY	9. EST. START DATE	
<input type="checkbox"/> OWN FORCES <input type="checkbox"/> CONTRACTOR	August 2006	
11. EXCAVATION	MAX. DEPTH	AVG. DEPTH
	N/A	N/A
13. PIPES	DIAMETER	VOLTAGE / PSIG
	N/A	N/A

15.  Double Permit Parent Permit Number \_\_\_\_\_  
 Applicant's Reference Number / Utility Work Order Number \_\_\_\_\_
16. Have your plans been reviewed by another Caltrans branch? NO  YES  (If "YES" Who? \_\_\_\_\_)
17. Completely describe work to be done within STATE highway right-of-way :  
 Attach 6 complete sets of FOLDED plans (folded 8.5" X 11" [216 mm X 280 mm]), and any applicable specifications, calculations, maps, etc.  
 All dimensions shall be in dual units (English and metric), OR exclusively in metric units.

RECORD PURPOSES ONLY

Utilize and maintain existing paved road approach to serve single family dwelling

**RECEIVED**  
 AUG 15 2006  
 District 2  
 Permits

18. Is a city, county, or other agency involved in the approval of this project?
- YES (If "YES", check type of project and attach environmental documentation and conditions of approval.)
- COMMERCIAL DEVELOPMENT  BUILDING  GRADING  OTHER
- CATEGORICALLY EXEMPT  NEGATIVE DECLARATION  ENVIRONMENTAL IMPACT REPORT  OTHER
- NO (If "NO", please check the category below which best describes the project, and complete page 4 of this application.)
- DRIVEWAY OR ROAD APPROACH, RECONSTRUCTION, MAINTENANCE, OR RESURFACING  FENCE
- PUBLIC UTILITY MODIFICATIONS, EXTENTIONS, HOOKUPS  MAILBOX
- FLAGS, SIGNS, BANNERS, DECORATIONS, PARADES AND CELEBRATIONS  EROSION CONTROL
- OTHER  LANDSCAPING

19. Will this project cause a substantial change in the significance of a historical resource (45 years or older), or cultural resource?  YES  NO  
 (If "YES", provide a description)

20. Is this project on an existing highway or street where the activity involves removal of a scenic resource including a significant tree or stand of trees, a rock outcropping or a historic building?  YES  NO (If "YES", provide a description)

21. Is work being done on applicant's property?  YES  NO (If "YES", attach site and grading plans.)

STATE OF CALIFORNIA • DEPARTMENT OF TRANSPORTATION  
**STANDARD ENCROACHMENT PERMIT APPLICATION**  
 TR-0100 (REV. 01/2004)

22. Will this proposed project require the disturbance of soil within highway right-of-way?  YES  NO  
 If "YES", estimate the area in square feet AND acres: \_\_\_\_\_ (ft<sup>2</sup>)  
 \_\_\_\_\_ (acres)

23. Will this proposed project require dewatering?  YES  NO  
 If "YES", estimate daily volume in gallons per day: \_\_\_\_\_ (gpd)

24. How will any storm water or ground water be disposed of from within or near the limits of this proposed project?  
 Storm Drain System  Combined Sewer / Storm System  Storm Water Retention Basin  
 Other (explain): No change to existing highway drainage

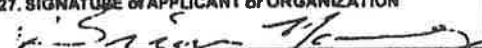
**PLEASE READ THE FOLLOWING CLAUSES PRIOR TO SIGNING THIS ENCROACHMENT PERMIT APPLICATION.**

**The applicant, understands and herein agrees to that an encroachment permit can be denied, and/or a bond required for non-payment of prior or present encroachment permit fees. Encroachment Permit fees may still be due when an application is withdrawn or denied, and that a denial may be appealed, in accordance with the California Streets and Highways Code, Section 671.5. All work shall be done in accordance with Caltrans rules and regulations subject to inspection and approval.**

**The applicant, understands and herein agrees to the general provisions, special provisions and conditions of the encroachment permit, and to indemnify and hold harmless the State, its officers, directors, agents, employees and each of them (Indemnitees) from and against any and all claims, demands, causes of action, damages, costs, expenses, actual attorneys' fees, judgments, losses and liabilities of every kind and nature whatsoever (Claims) arising out of or in connection with the issuance and/or use of this encroachment permit for: 1) bodily injury and/or death to persons including but not limited to the Applicant, the State and its officers, directors, agents and employees, the Indemnitees, and the public; and 2) damage to property of anyone. Except as provided by law, the indemnification provisions stated above shall apply regardless of the existence or degree of fault of Indemnitees. The Applicant, however, shall not be obligated to indemnify Indemnitees for Claims arising from conduct delineated in Civil Code Section 2782.**

**DISCHARGES OF STORM WATER AND NON-STORM WATER: Work within State highway right-of-way shall be conducted in compliance with all applicable requirements of the National Pollutant Discharge Elimination System (NPDES) permit issued to the Department of Transportation (Department), to govern the discharge of storm water and non-storm water from its properties. Work shall also be in compliance with all other applicable Federal, State and Local laws and regulations, and with the Department's Encroachment Permits Manual and encroachment permit. Compliance with the Department's NPDES permit requires amongst other things, the preparation and submission of a Storm Water Pollution Protection Plan (SWPPP), or a Water Pollution Control Program (WPCP), and the approval of same by the appropriate reviewing authority prior to the start of any work. Information on the requirements may also be reviewed on the Department's Construction Website at:**

<http://www.dot.ca.gov/hq/construc/stormwater1.htm>

25. NAME of APPLICANT or ORGANIZATION (Print or Type)		E-MAIL ADDRESS	
ADDRESS of APPLICANT or ORGANIZATION WHERE PERMIT IS TO BE MAILED (Include City and Zip Code)			
PHONE NUMBER		FAX NUMBER	
26. NAME of AUTHORIZED AGENT / ENGINEER (Print or Type)		IS LETTER OF AUTHORIZATION ATTACHED? <input type="checkbox"/> YES <input type="checkbox"/> NO	E-MAIL ADDRESS
ADDRESS of AUTHORIZED AGENT / ENGINEER (Include City and Zip Code)			
PHONE NUMBER		FAX NUMBER	
27. SIGNATURE of APPLICANT or ORGANIZATION	28. PRINT OR TYPE NAME	29. TITLE	30. DATE
	Brian Young		8-14-06

STATE OF CALIFORNIA - DEPARTMENT OF TRANSPORTATION  
**ENCROACHMENT PERMIT APPLICATION REVIEW**

TR-0110 (Rev. 2/2000)

Applicant <b>Brian Young</b>					Permit No. <b>0206-6RS-0348</b>				
Date <b>8/23/2006</b>					Dist/Co/RV/PM <b>02-TRI-3-5.64</b>				
Your comments and recommendations are requested regarding an encroachment permit application.					Type of Work <b>name change</b>				
Review Needed By <b>9/6/2006</b>					Reviewing Units				
Charge all customer service & travel time to the E.A. below									
Dist. Charge	EA		Sub-Job	Spec. D	ACT				Ken
2	937700		3EPCS		2003				
Charge all review time to the E.A. below									
Dist. Charge	EA		Sub-Job	Spec. D					
2	937700		3EPPR		2037				
There is additional information available in permit file					Yes		No		
Besides those listed, who else should review this application?					Return To: Encroachment Permits, Attn: JOYCE <b>20</b>				
<i>N/A</i>					<i>EXISTING PERMIT</i>				
<b>THIS APPLICATION IS BEING REVIEWED SEPARATELY BY EACH UNIT.</b>									
<b>TIME CHARGED*</b>					Responsible Unit				
EA 937700 3EPCS <u>1</u> Hours					Permit Engineering Evaluation Report Required				
EA 937700 3EPPR <u>1</u> Hours									
* MUST MATCH TRS ENTRY									
Permit Recommended:					<input type="checkbox"/> NO (No adverse impact on highway operations or maintenance.) By: _____, Sr. Trans. Engr. Date: _____				
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> Need more info (explain)					<input type="checkbox"/> Yes <input type="checkbox"/> Attached      Est. Completion Date of PEER: _____				
<b>REMARKS:</b> (Include necessary changes, required conditions, etc.)									
<b>INSPECTORS:</b>									
<b>DOUBLE PERMIT REQUIRED?</b> <input checked="" type="checkbox"/> <b>ESTIMATED HOURS OF INSPECTION</b> <u>0</u> <b>BONDS REQUIRED?</b> <input checked="" type="checkbox"/> <b>WHAT KIND OF TRAFFIC CONTROL IS NEEDED?</b> <input checked="" type="checkbox"/> <b>LEFT OR RIGHT SIDE?</b> <u>N/A</u> <b>RW WIDTH?</b> <u>N/A</u> PLEASE INCLUDE CURRENT R/W MAP									
<p><i>prev. constructed but not permitted paved road approach. New owner has bought property. Issue permit for record purposes only.</i></p>									
Reviewed By <i>K. KUBISCH</i>					Business Phone <i>3500</i>		Date <i>9/13/06</i>		
Concurred By					Business Phone		Date		

**ORIGINAL PICTURES  
ARE FILED WITH  
FACE PAGE OF  
PERMIT**



*Tri-3*

*0210' GR S-0348*

FEE CALCULATION -- FOR CALTRANS USE					
<input type="checkbox"/> CASH		<input type="checkbox"/> CREDIT CARD		NAME ON CARD _____ PHONE NUMBER _____	
<input checked="" type="checkbox"/> CHECK		NUMBER <u>1818</u>		NAME ON CHECK <u>Young</u> PHONE NUMBER _____	
<input type="checkbox"/> EXEMPT		<input type="checkbox"/> PROJECT EA _____		<input type="checkbox"/> DEFERRED BILLING (Utility)	
CALCULATED BY		(1)		(2)	
REVIEW		1. FEE / DEPOSIT		2. FEE / DEPOSIT	
1. <u>1</u> HOURS @ \$ <u>82</u>		\$ <u>82</u>		DATE <u>8/25/06</u>	
2. _____ HOURS @ \$ _____		\$ _____		DATE _____	
INSPECTION		1. FEE / DEPOSIT		2. FEE / DEPOSIT	
1. _____ HOURS @ \$ _____		\$ _____		DATE _____	
2. _____ HOURS @ \$ _____		\$ _____		DATE _____	
FIELDWORK		_____ HOURS @ \$ _____		\$ _____	
EQUIPMENT & MATERIALS		DEPOSIT		DEPOSIT	
\$ _____		\$ _____		DATE _____	
CASH DEPOSIT IN LIEU OF BOND		\$ _____		\$ _____	
TOTAL COLLECTED		\$ <u>82</u>		\$ _____	
CASHIER'S INITIALS		<u>BY</u>		\$ _____	
* The current hourly rate is set annually by Headquarters Accounting. District Office staff do not have authority to modify this rate.					
PERFORMANCE BOND		<input type="checkbox"/>		DATE _____ AMOUNT \$ _____	
PAYMENT BOND		<input type="checkbox"/>		DATE _____ AMOUNT \$ _____	
LIABILITY INSURANCE REQUIRED?		<input type="checkbox"/> YES <input type="checkbox"/> NO		_____	

**BRIAN YOUNG**  
 [Redacted]  
 [Redacted]

90-328/1211  
 11071929  
 Date 8-22-06

\$ 82.00

Pay to the order of Caltrans

eighty-two and No/100 Dollars

**NVB**  
 North Valley Bank  
 Hayward, California 94541  
 24-Hr. TeleBank 800-750-7077  
 Branch Office 888-868-MORE(6673)  
 www.nvb.com

Wendi Young

# 2

## **SECTION 23. INDUSTRIAL DISTRICTS OR "I" DISTRICTS**

- A. **GENERAL DESCRIPTION:** The purpose of this Zoning District is to provide locations for manufacturing and industrial uses in a manner which is compatible with neighboring uses and which protects the environment of the county.

Subject to the provisions of Sections 23.P and 30, none but the following uses, or uses which in the opinion of the Planning Commission are similar will be allowed. See Section 30.A.

- B. **USES PERMITTED WITHOUT A USE PERMIT EXCEPT WHEN THESE USES LISTED IN THIS SECTION EXCEED THE FOLLOWING THRESHOLDS, A USE PERMIT SHALL BE REQUIRED:**

1. If a use involves water quantity uses over three (3) gallons/minutes in a Critical Water Resources Overlay area, or
2. Through New Source Review, requires an Authority To Construct permit from the North Coast Unified Air Quality Management Board, or
3. Exceeds 65 dBA at the property line of a use, or
4. Requires a Regional Water Quality Control Board Discharge Permit, or
5. Any use which generates air emissions, liquid, solid or hazardous wastes, noise, offensive odors, smoke, dust or glare in a manner which may be detrimental to the public health, safety or welfare shall require a use permit.
  - Welding Shop
  - Plumbing Shop
  - Wholesale Sales and Storage
  - Warehouse and Mini Storage
  - Cabinet Shop
  - Auto Repair Shop
  - Agricultural uses, other than hog raising

- Office uses less than 5000 square feet
- Construction Storage Yards

Uses associated with publication operations, including:

- Printing
- Lithography and bookbinding
- Cartography
- Editorial and designing operations
- Bottling
- Machine Shop
- Public Utility Buildings and Yards
- Metal Fabrication

Limited retail uses in conjunction with manufacturing or industrial uses, when no more than 25 percent of the building's gross square footage is utilized for such purposes.

Heavy Equipment and Truck Repair Shop

Secondary Wood Processing Facility

C. USES PERMITTED SUBJECT TO SECURING A USE PERMIT IN EACH CASE:

- Power Generating Plants (exception: hydroelectric plants)
- Biomass Plants
- Cogeneration Plants
- Geothermal Facilities
- Coal Refining and Processing Plants
- Nuclear Power Plants (Fusion and Fission Processes)
- Lumber Mill
- Hazardous Waste Treatment Facilities
- Hazardous Waste Haulers

- Septage Hauler/Disposal
- Office Use over 10,000 square feet
- Commercial excavation of stone or earth materials
- Mining Operation
  - Batch Plants
  - Concrete Plants
  - Rock Crushers
  - Drilling for and/or removal of oil or gas
  - Manufacture and storage of explosives
  - Distillation of bones, fat rendering, food processing, fish canning and other uses of the same character.
  - Dumping, disposal, reduction of garbage, sewage, offal, dead animals or refuse.
  - Hog raising
  - Junk yards, wrecking yards, salvage yards.
  - Manufacture of acids, cement, fertilizer, gas, glue, gypsum, inflammable fluids or gases, refining of petroleum and its products, smelting of copper, iron, tin, zinc, and other ores, and other uses which do not meet the performances standards set out in this Ordinance.
  - Bulk storage of oil and gasoline (including tank farms).
  - Other uses found to be similar in nature as determined by the Planning Commission.

D. ACCESSORY BUILDINGS AND USES:

Accessory buildings and uses normally incidental to the uses permitted, including residential caretaker unit (PW-01-06), associated with a use. "Watchman's Quarters" Resolution No. PC-2001-01. See attached copy.

E. SIGNS:

Signs not exceeding fifteen (15) square feet advertising sale or lease of property upon which sign is displayed may be permitted. Other onsite signs are as stated in the county Sign Ordinance.

- B. FOR SUBDIVISION PURPOSES, THE MINIMUM PARCEL SIZE REQUIRED:  
One half (1/2) acre. (See land use elem. matrix).
- G. MINIMUM LOT WIDTH REQUIRED: One hundred (100) feet.
- H. MAXIMUM ALLOWABLE LOT COVERAGE BY ALL STRUCTURES: Sixty (60) percent.
- I. MAXIMUM ALLOWABLE HEIGHT: Forty-five (45) feet.
- J. MINIMUM FRONT YARD REQUIRED: Twenty-five (25) feet.
- K. MINIMUM SIDE YARD REQUIRED: Ten (10) feet.
- L. MINIMUM REAR YARD REQUIRED: Ten (10) feet.
- M. GENERAL REQUIREMENTS:
  - 1. Parking requirements, see Section 30.I.
  - 2. Minimum setbacks for yards shall be maintained unless the criteria in Section 30.F. apply.
  - 3. Additional height may be approved upon obtaining a use permit if gross floor area ratio to building site does not exceed 5:1.
  - 4. All uses shall conform to the performance standards set out in the Industrial Zone Development Standards.
- N. DRAINAGE: A Drainage Plan shall be submitted to and approved by the Department of Transportation prior to the issuance of building or use permit(s).
- O. ENCROACHMENT PERMIT: Encroachment permits shall be obtained from the Department of Transportation prior to the issuance of building permits when projects create a new entrance onto a county road.
- P. INDUSTRIAL ZONE PERFORMANCE STANDARDS:
  - 1. General Requirements
    - a. Use Restrictions
      - 1) Removal of Structures

Residential uses are allowed with a use permit, provided they are located on the second story or rear one-half of any building used for industrial or commercial purposes.

2) Access to Local Streets Prohibited.

No vehicular access shall be permitted to a local street from an industrial through lot which also has frontage on a highway or collector county road.

b. Building Development Standards

1) Exterior Walls

All building surfaces facing or abutting on residential property shall be constructed of material complementing the rural character of the community, and shall be maintained in a neat and presentable condition throughout the life of the building.

2) Street Setbacks, Street Widening and Extensions

The front and side street setbacks shall be measured from the right-of-way or easement line, or lot line, whichever is more restrictive. Additional setback area to accommodate a 60 foot right-of-way (30 feet each side of centerline) for road improvements shall be required unless it can be shown that all elements of the design cross section, drainage, utility accommodations and border areas can be contained in a lesser width, subject to the review and approval of the Director of Transportation.

2. Property Development Standards

a. Landscaping

1) A landscaping plan shall be submitted to the Director of Planning for approval prior to issuance of a building permit.

2) All required yards abutting upon public roads shall be landscaped with trees, shrubs, or planted ground cover. These plants shall be maintained in a neat and orderly manner at all times. All open and unlandscaped portions of any site shall be graded for proper drainage and maintained in a good condition free from weeds, trash and debris.

- b. Fences and Walls
  - 1) No fence or wall six feet or greater in height shall be constructed without first obtaining a building permit.
  - 2) No electrified fence shall be constructed.
  - 3) No fence or wall shall exceed eight feet in height.
  
- c. Walls Adjacent to Residential Use
  - 1) Where the site abuts a residential district, school or park, a solid decorative rustic-looking wall not less than six feet in height shall be constructed and maintained along the property lines adjoining said residential district, school or park.
  
- d. Lighting
  - 1) Any lighting provided shall be directed away from all surrounding land uses and public rights-of-way.
  - 2) Lighting shall be the minimum necessary to provide for involved, safety and adequate security for the use involved.
  
- e. Trash Enclosures
  - 1) All trash, loading and storage areas shall be enclosed with materials architecturally compatible with the main building and located so as not to be visible from any public rights-of-way or neighboring areas.
  - 2) Trash bins shall remain in the enclosures except during trash pickup.
  
- f. Loading Operations
  - 1) Off Street Loading Space. Sufficient off street loading space shall be provided and maintained for the pickup and delivery of goods. Each off street loading space shall be so arranged that it will not impede traffic circulation within the parking area and will not block parking stalls.
  - 2) Loading operations shall not be permitted on any street or alley, which also serves a residential district.

- 3) Loading facilities and gates shall be located in such a manner so as not to cause traffic congestion or to interrupt the normal flow of traffic on public rights-of-way. Adequate space shall be provided on-site for maneuvering and turn around of tracks and other loading vehicles.
- 4) Loading facilities shall be located in such a manner that all loading operations take place completely within the property lines of the site.



**TRINITY COUNTY WATERWORKS**  
**Action to Enforce Mandatory Connection to the Sewers**  
**RESOLUTION no. 062105**

**A RESOLUTION OF THE BOARD OF DIRECTORS OF THE TRINITY COUNTY WATERWORKS DISTRICT #1 TO AUTHORIZE AND SET FORTH ACTION NEEDED TO COMPLY WITH MANDATORY CONNECTION AS SET FORTH BY ORDINANCE 97-1.**

**WHEREAS,** It is the duty of the Board of Directors and staff to enforce the rules and regulations that are current and legally adopted and

**WHEREAS,** The Board has determined by Ordinance that all properties within the Sewer Service Boundary SHALL be connected to the sanitary sewers, and

**WHEREAS,** The Board must act in good faith and fairness to all customers, authorizes the following actions;

**NOW THEREFORE BE IT RESOLVED,** The Board of Directors of the Trinity County Waterworks authorizes the following actions to assure there is compliance with the Mandatory connection ordinance.

1. From this date forward no water service will be made to any dwelling that is not connected to the community sewer system.
2. If water service is discontinued for any reasons including non-payment of fees due, water shall be reconnected until all fees are paid and connection is made to the community sewer system.
3. The Board authorizes a demand letter be sent to all parcels that are not currently connected to the community sewer system.
4. After a reasonable time, the Commencement of a lawsuit and filing of Lis Pendens is authorized.
5. Summary proceeding in lawsuit is authorized for all appropriate situations.
6. After a reasonable amount of time, the Board authorizes the trial of the cases that are still not in compliance with all attorney fees also being sought from the non-compliant parties.

## Introduction:

Trinity Valley Consulting Engineers (TVCE) was secured by Trinity Flavor LLC (Client) and Tom Gocha (Consultant) to perform a review of the project and verify the suitability for developing Onsite Wastewater Treatment Systems (OWTS) for the Client's proposed property development. This report is based on accommodating a four-bedroom Dwelling Unit and 10 employees for a commercial cannabis facility. This report demonstrates that the property is suitable for an onsite wastewater treatment system. The following is an outline of our findings and recommendations.

## Site Description:

The project site is located at 504 Oatman Rd Hayfork, Trinity County, CA (see Attachment 1 for a Project Location). The Assessor Parcel Number (APN) for the project is 014-180-095 (see Attachment 2 for Assessor Map). The parcel size is approximately 110 acres according to Parcel Quest (See Attachment 3). The property is developed with a single-family home, out buildings, utilities, access road and an existing septic system at this time. The proposed septic development is to be located at the western portion of the parcel. The property is generally alluvial farmland with minimum trees and underbrush. Slopes in gentle (0%-5%) with a northwest aspect.

## Proposed Project:

The proposed project consists of developing a new septic system that will accommodate the existing four-bedroom single family residence and an additional ten employees. An occupant load of 150 gallons per day per bedroom and 15 gallons per day per employee was used in the evaluation for suitability of an onsite wastewater disposal system for this parcel.

## Field Investigation:

A preliminary site investigation was conducted by TVCE on 10/19/2021 to evaluate potential construction sites and septic suitability. A second site visit was performed at a later date by the Consultant to dig two test pits and collect soil samples for laboratory analysis. These were identified and excavated to a depth of 9 feet. Soil samples were collected at 3ft, 6ft, and 9ft. Conservative to the data provided, a rate of 30 minutes per inch has been used to preliminarily size the treatment system (See Attachment 9).

The soil samples were taken in the most likely place to receive the development of the leach field. Minimum setbacks have been included in this report. It is the owners and permitting agencies responsibility to ensure the setbacks are met prior to construction.

## Evaluation:

The project site is suitable for the development and construction of an onsite wastewater system from a topography and soils standpoint. Soil tests show a soil percolated rate of 30 minutes per inch. This rate was used in the design of the leach field. Based on the above information, it is recommended that the septic leach system be installed at depths of three feet in order to dispose of leachate in soil types suited to receive them. Based on the available data, it appears that an engineered system would be adequate for use on this site. Proposed leach field and reserve leach



## **WHEN DO I NEED AN ENCROACHMENT PERMIT?**

An encroachment permit is required for all proposed activities related to the placement of encroachments within, under, or over the County's right-of-way (ROW). An encroachment permit assures that projects within the ROW are done according to requirements and that County property will not be damaged and if so, proper repairs are made. No work within the County ROW can be done until an encroachment permit has been issued.

Property owners who access their property from a County maintained road (directly or indirectly) are required to build that access according to encroachment permit requirements. Properly built encroachments are needed in order to:

- protect the County road,
- assure proper drainage, and
- assure that sight distance in each direction is safe for the traveling public.

Some of the activities requiring an encroachment permit include, but are not limited to, are:

- Driveway or sidewalk installation/replacement
- When a septic or well permit is applied for
- When a building permit is applied for (additions or new builds that exceed 500 square feet or the addition of a bedroom)
- Mobile home replacement
- Excavations within the ROW
- Sign, post, mailbox and fence installations within the road ROW
- Vegetation planting/trimming within the road ROW
- Utilities and utility work (when required)
- Special events and traffic control
- Cannabis greenhouses

An encroachment permit is needed whenever: there is a change in use on the property; there is a liability to the County; an existing encroachment is/or becomes unsafe. There are also situations when an existing project is under way and one (or more) of the above activities are required to bring it to current standards.

## **HOW DO I GET AN ENCROACHMENT PERMIT?**

- Complete the application (available online at [trinitycounty.org](http://trinitycounty.org) -Transportation Department or at pick up at the office of the Dept. of Transportation at 31301 State Hwy 3, Weaverville, CA 96093)
- Submit application and fees (in person or via mail)
- After the inspector completes the preliminary inspection to verify location and project details your permit will be prepared.
- You will be notified that the permit is ready to be picked up at the Dept. of Transportation office at which time a bond may be required as well as a Certificate of Insurance with the general liability coverage in the amount of \$1,000,000 naming Trinity County as additionally insured.

## **I PICKED UP MY PERMIT – NOW WHAT?**

The permit has an expiration date of six months; you may request a one-time extension of an additional six months for a fee of \$10. You may be eligible for additional extensions with a building permit.

All permits require a pre-inspection before paving or during back-filling of utility trenches.

Once you have completed the project, return the green card to the DOT to indicate you are ready for a final inspection. Once the inspector does the inspection a letter of completion will be issued. The inspector will notify the Building Dept. that the project is complete (when necessary), and process the refund of your bond if no damage was done to the County ROW.

*John Keomv*

*John Keomv  
Dorice, C.Y. @ Dorice.Keomv@gmail.com*

**Real Estate Included:** Yes

APN DH-180-095-000

**Zoning:** Industrial

*Heavy Industrial/Manufacturing (M2)(I)*

**Existing Use:** None

**Location:** Central Business

**Foundation:** Concrete Perimeter

**Construction:** Wood Frame

**Siding:** Wood

**Roof:** Composition Shingle

**Sale Includes:** Land & Building

**Possession:** At Close of Escrow

**Financing Terms:** Cash; Owner Carry 1st

THREE-PHASE POWER AVAILABLE from Trinity PUD with the lowest rates in California, currently NO LOCAL TAXES on the cannabis industry, 2" main from city water, city sewer, and easy access on paved roads with the private airport just across the highway - there's nothing not to like about this property! There is literally NO PROPERTY LIKE THIS ONE that offers the right zoning, terrain, water, power, and easy-access location, it's time to make big moves!

Last Updated: January - 17 - 2021



The listing broker's offer of compensation is made only to participants of the MLS where the listing is filed.

Based on information from the Humboldt Association of REALTORS® (alternatively, from the Humboldt MSJ), as of (date the AOR/MLS data was obtained on 5/17/2022.) All data, including all measurements and calculations of area, is obtained from various sources and has not been, and will not be verified by broker for accuracy. Properties may

## DEPARTMENT OF TRANSPORTATION

OFFICE OF ENCROACHMENT PERMITS  
1657 RIVERSIDE DRIVE (96001)  
PO BOX 496073  
REDDING, CA 96049-6073  
TTY (530) 225-2019  
FAX (530) 225-3097  
PHONE (530) 225-3400

**BASIC CALTRANS ENCROACHMENT PERMIT INFORMATION**

An encroachment permit is issued by Caltrans anytime an activity or construction will take place within, under, or over the State right of way. Some examples of work requiring an encroachment permit are driveways, utilities, excavations, planting or trimming vegetation, mail boxes, traffic control, special events and encroachment renewals.

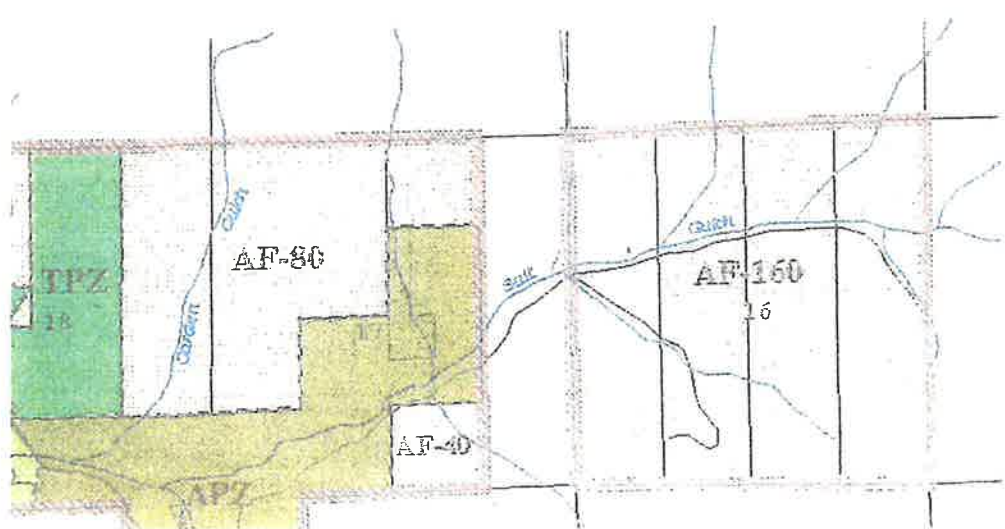
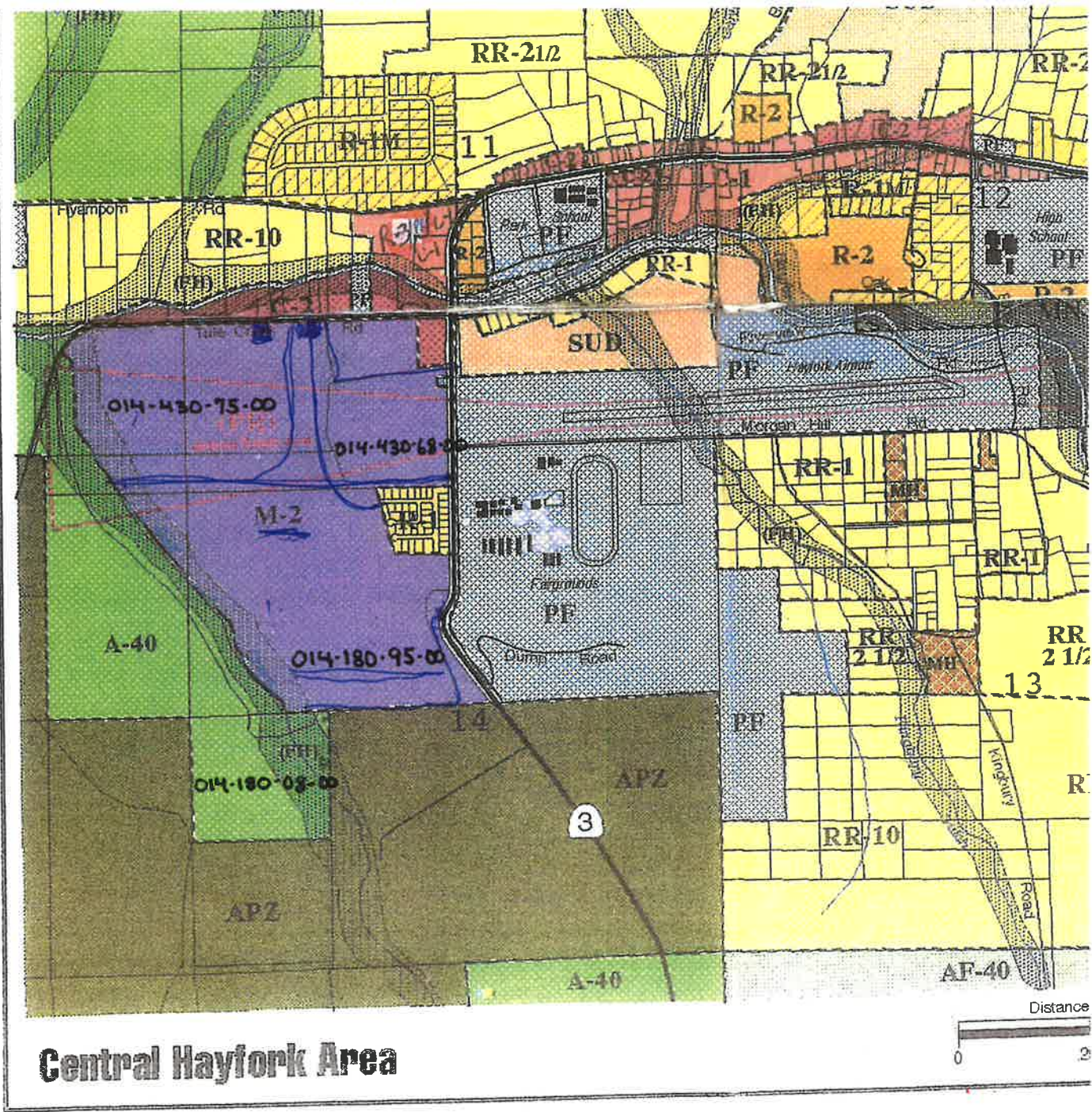
Note that a permit is NOT transferred with the sale of property to the new owner. New owners must apply for and obtain a new permit.

Applications may be obtained through the District Permit Office. The District 2 Permit Office which services Trinity County and all of Northern California is located at 1657 Riverside Drive, Redding, CA 96001. A permit application may also be obtained at the following website address:

<http://www.dot.ca.gov/hq/traffops/developserv/permits/>

If you would like to have a permit application mailed to you, or if you have any questions please call our office at (530) 225-3400.

*Ken Kubisch*



#3

# COMMUNITY

Adopted by the Trinity County Board  
by Ordinance

# Hay

Why was this ignored!!

CAL FIRE INSPECTOR  
PO BOX 1296, WEAVERVILLE, CA 96093  
530-623-6326 530-448-2419  
Scott Wood, Email: [Scott.Wood@fire.ca.gov](mailto:Scott.Wood@fire.ca.gov)

FIRE PROTECTION, DRIVEWAY OR ROADS, DEFENSIBLE SPACE,  
AND ADDRESSING REQUIREMENTS

INTRODUCTION

In September of 1987, the Governor signed a bill which created a new law, Public Resources Code Section 4290 (PRC 4290), "Regulations Implementing Minimum Fire Safety Standards Related to Defensible Space Applicable to State Responsibility Area Lands". PRC 4290 are minimum statewide wild land fire safety regulations. The Trinity County Board of Supervisors adopted the statewide Regulations and approved Ordinance 1162, commonly known as the Trinity County Fire Safe Standards. These Standards became effective January 1, 1992, and are designed to minimize the loss of structures, lives, and resources due to uncontrolled wildfires. The Standards are applicable to all of Trinity County and affect land divisions, new road construction, building permits for new construction, and mobile home installations. Trinity County's permit process was amended to incorporate these rules. Please complete this form and submit to CAL FIRE for specific requirements related to your project. The CAL FIRE Inspector must approve all of the specific requirements for your project prior to the final inspection by the Trinity Co Building Department.

REQUIREMENTS

Fire Safe Ordinance 1162 Standards may include any of the following requirements for your project:

DRIVEWAY or ROADS:

- Driveways shall not be less than 10 feet in width. Roads must have two 9-foot travel lanes to allow 2-way traffic. Driveways serve up to 2 buildings and no more than 3 dwelling units on a single parcel. Roads serve more than one parcel; access to any industrial or commercial property; or serve more than 2 buildings or four or more dwelling units on a single parcel.
- Shall have a minimum of 6 inches of aggregate road base, shale, or equivalent to provide an all weather surface capable of supporting a 40,000-pound vehicle load.
- Driveways shall have a turnaround area near the building site for driveways 300 feet or longer. The turnaround shall provide adequate area for a fire engine.
- Driveways shall have a turnout near the mid-point of the driveway for driveways 150 feet or longer. The turnout shall provide adequate area for a fire engine.
- Grades for driveways or roads shall not exceed 16 percent.
- Shall provide a minimum of 15 feet of vertical clearance. Vertical clearance shall be measured from the ground to the lowest tree branch overhanging any portion of the driveway.

ON-SITE WATER FOR FIRE PROTECTION:

- If the parcel you are building on was created and/or approved after January 1, 1992, you are required to provide a minimum 2,500-gallon water tank. The tank system shall be for the purpose of water for fire suppression during a wild land fire or a fire originating from within the building. The CAL FIRE inspector will provide typical system diagrams and advice as to how to meet this requirement for your parcel. The water system must be in place prior to the completion of building construction.

STRUCTURE SETBACK FOR DEFENSIBLE SPACE:

- All buildings constructed on a parcel of land one-acre or larger in size shall setback a minimum of 30 feet from all property lines. For parcels of less than one acre, the CAL FIRE inspector is required to mitigate to provide the same practical effect as 30 feet setback. Your plot plan needs to indicate the setback between your proposed building and the property lines. This must occur prior to the foundation inspection.

DISPOSAL OF FLAMMABLE VEGETATION AND FUELS:

- All vegetation and fuels removed for building and driveway construction shall be disposed by chipping, hauled to a landfill/dump, or by burning. If burning, disposal shall be in accordance with Air Quality Management District regulations and federal, state, or local fire department burning permit regulations.

BUILDING ADDRESSING:

- All buildings shall have a permanently posted address placed at the driveway entrance and visible from both directions of travel along the road. Addresses shall be a minimum of 3 inches in height and contrast with the background color of the sign.

# Figure 4: Project Diagram

- 1.) Dwelling
- 2.) 20'x20' Cannabis Waste Area - Compost
- 3.) General Storage Building
- 4.) General Storage Building
- 5.) 25'x25' Pole Barn - Water Tank Storage
- 6.) 30'x100' Building - 30'x60' Harvest Storage, 20'x30' Processing, 15'x20' Packaging, 4'x15' Admin Hold, and Ag Chemical/Pesticide Storage Area
- 7.) Proposed Three 30'x120' Greenhouses - Mature Canopy
- 8.) Future Three 30'x120' Greenhouses
- 9.) 30'x96' Greenhouse - Immature Canopy
- 10.) Proposed 30'x60' Parking Area

Parcel Boundary  
 Premises Boundary  

APN:  
014-180-95-00

Remaining Portion of Parcel is  
Unused

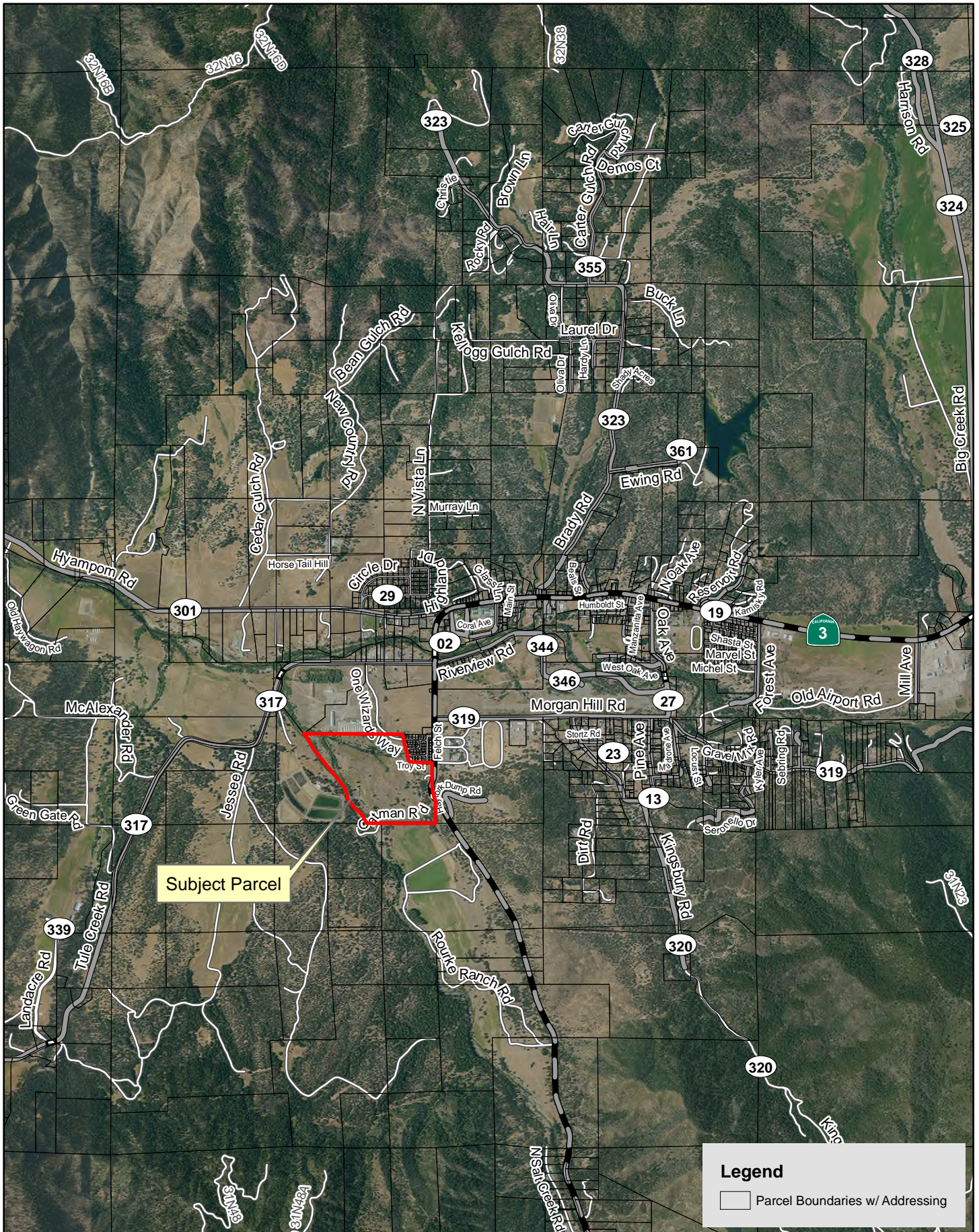
Immature Canopy Area:	Mature Canopy Area:
(30'x96') = 2880	(2)(118'x14') = 3304(3)
= 2,880sq ft	= 9,912sq ft





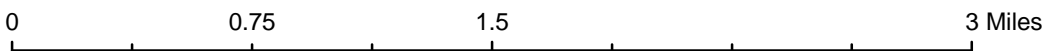


P-23-10 | CCL-692  
 APN 014-180-095-000  
 Property Location Map



**Legend**

- Parcel Boundaries w/ Addressing

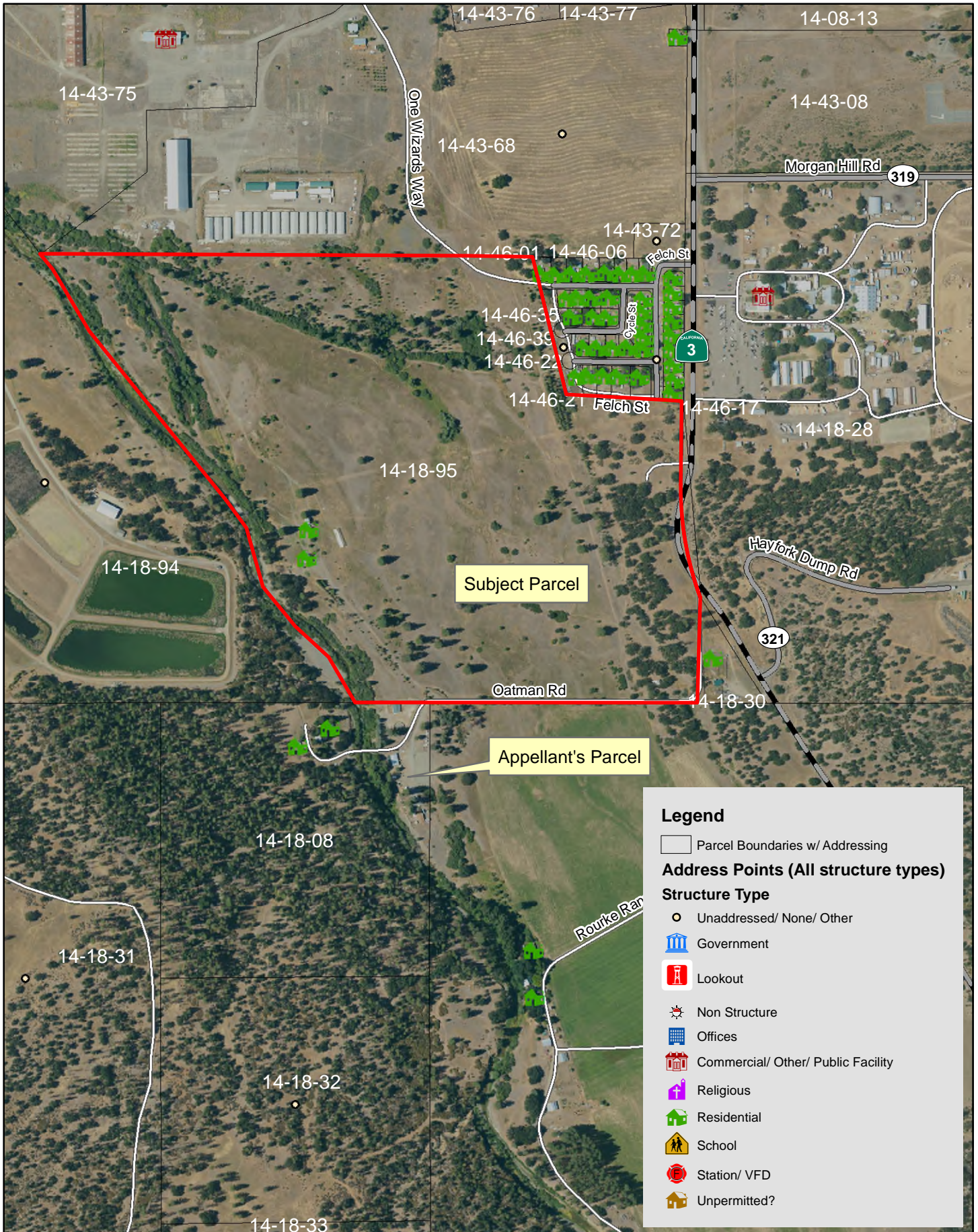


Staff Author: BH  
 Date: 6/14/2023

This map is property of the County of Trinity, any manipulation or unauthorized use is prohibited by law and will not be accepted by the County.



**P-23-10 | CCL-692**  
**APN 014-180-095-000**  
**Surrounding Uses/Appellant's Location Map**

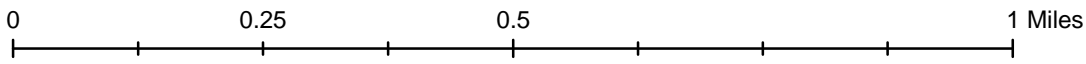
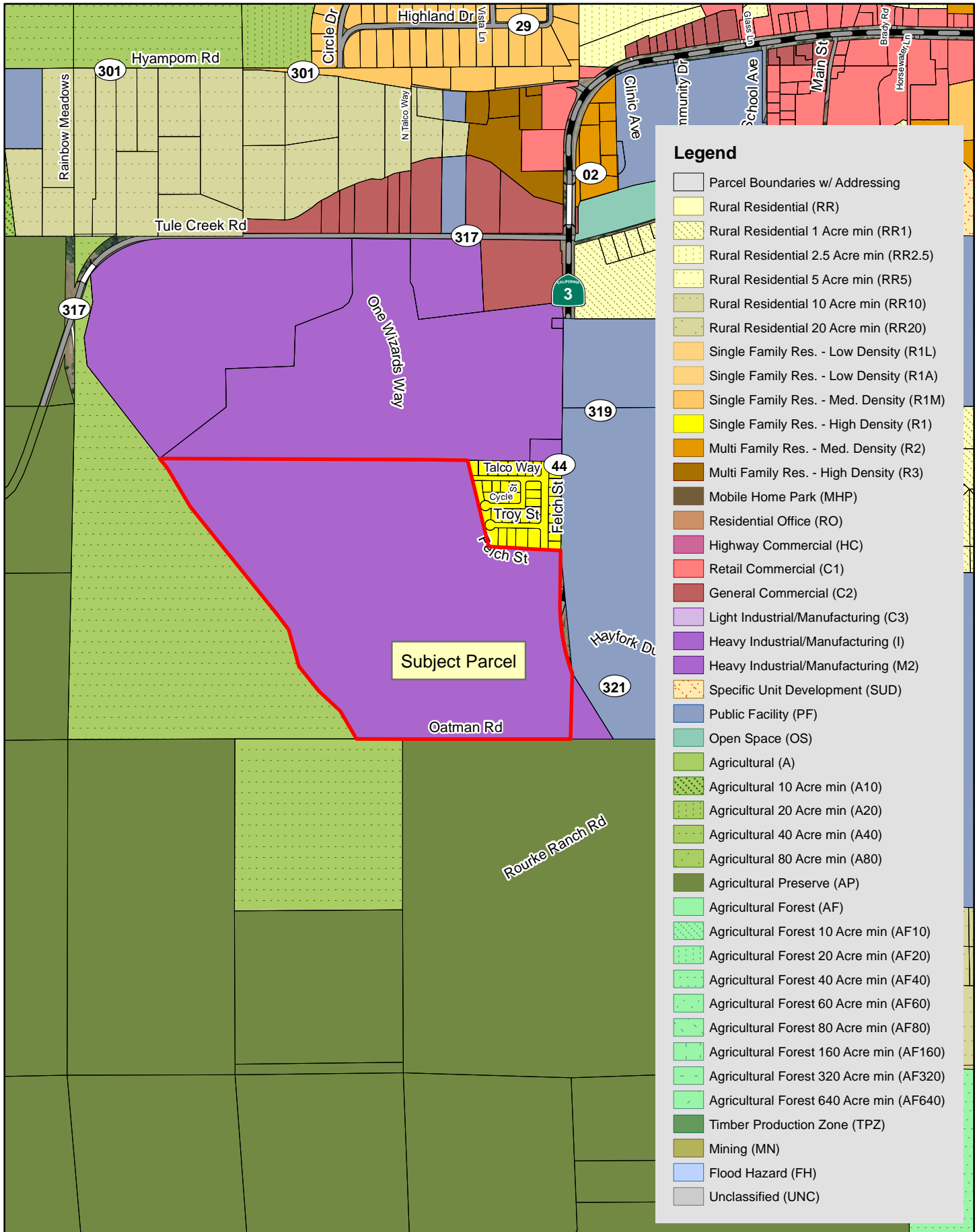


0 0.125 0.25 0.5 Miles

**Staff Author: BH**  
**Date: 6/15/2023**



**P-23-10 | CCL-692**  
**APN 014-180-095-000**  
**Zoning District Map**

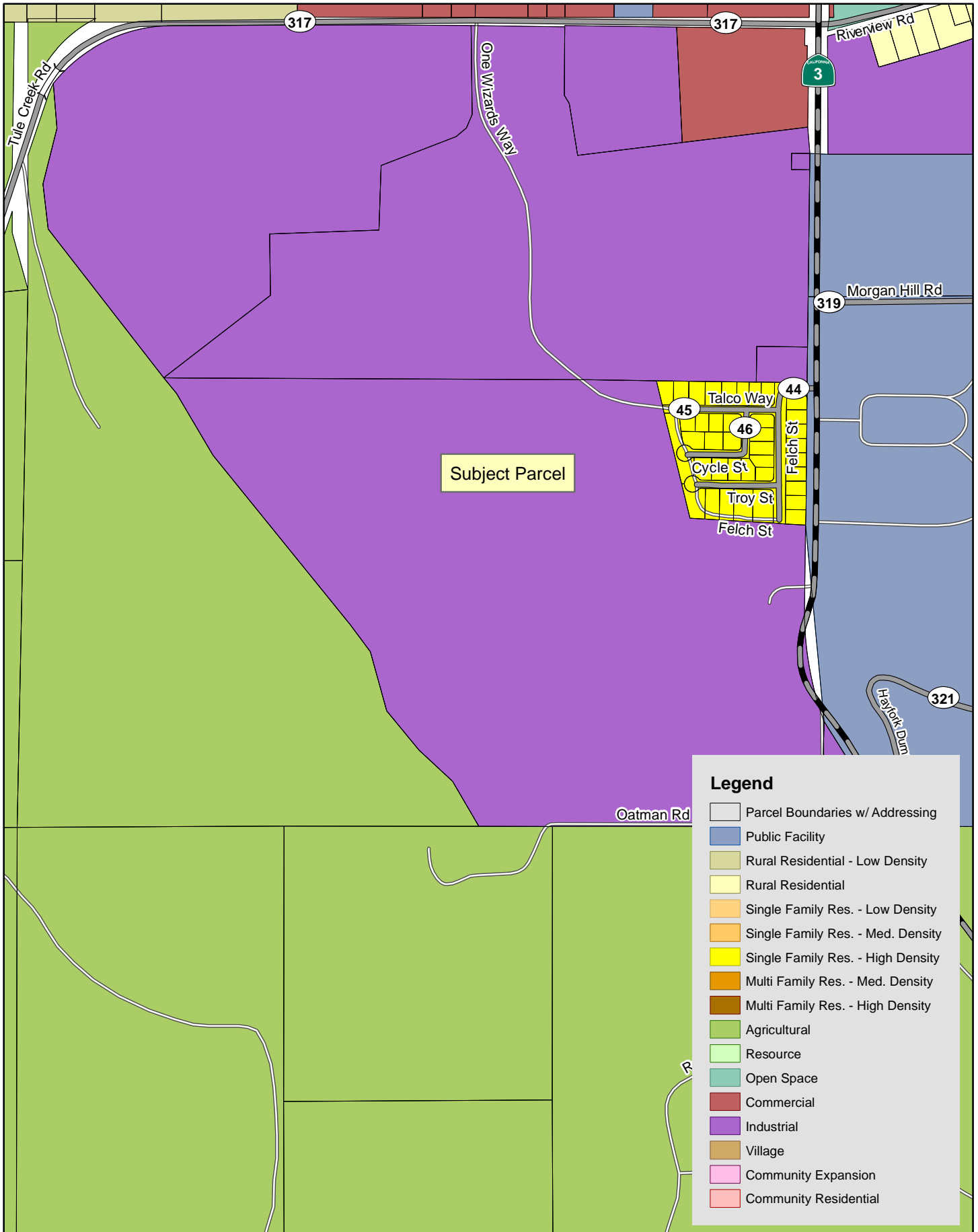


**Staff Author: BH**  
**Date: 6/14/2023**

*This map is property of the County of Trinity, any manipulation or unauthorized use is prohibited by law and will not be accepted by the County.*



P-23-10 | CCL-692  
 APN 014-180-095-000  
 General Plan Designation Map



Subject Parcel

**Legend**

- Parcel Boundaries w/ Addressing
- Public Facility
- Rural Residential - Low Density
- Rural Residential
- Single Family Res. - Low Density
- Single Family Res. - Med. Density
- Single Family Res. - High Density
- Multi Family Res. - Med. Density
- Multi Family Res. - High Density
- Agricultural
- Resource
- Open Space
- Commercial
- Industrial
- Village
- Community Expansion
- Community Residential

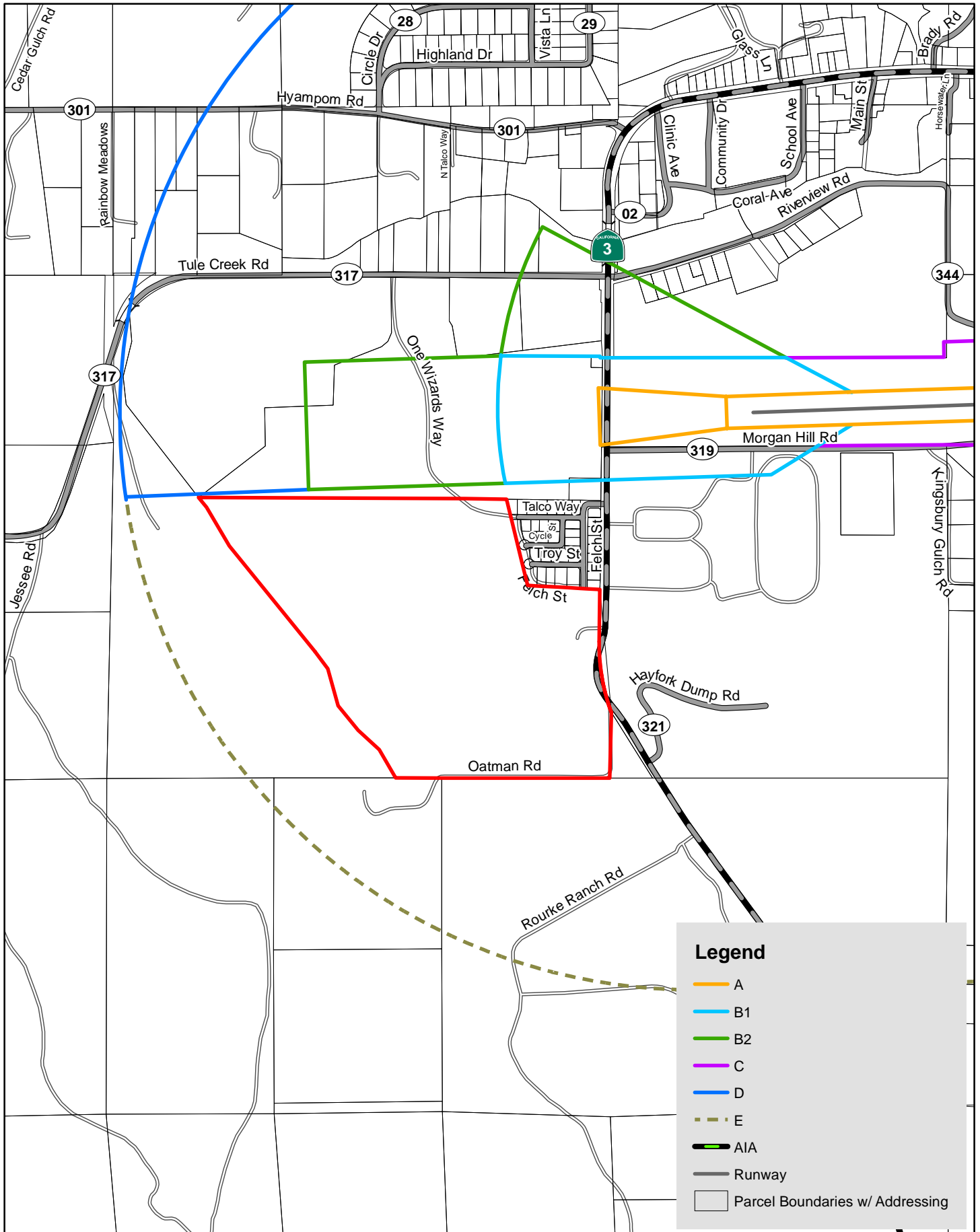
0 0.125 0.25 0.5 Miles

Staff Author: BH  
 Date: 6/15/2023

This map is property of the County of Trinity, any manipulation or unauthorized use is prohibited by law and will not be accepted by the County.



**CCL-692  
P-23-10  
ALUCP - Compatibility Zone E**



**Legend**

- A
- B1
- B2
- C
- D
- - - E
- AIA
- Runway
- Parcel Boundaries w/ Addressing

0 0.175 0.35 0.7 Miles

**Staff Author: BH  
Date: 7/6/2023**

*This map is property of the County of Trinity, any manipulation or unauthorized use is prohibited by law and will not be accepted by the County.*



## MEMORANDUM

TO: Trinity County Planning Department

FROM: Thomas Gocha - TCG Associates

DATE: June 12 2023

RE: Trinity Flavor LLC CCL-692 - Appeal Response - P-23-10

---

### Introduction

Trinity Flavor LLC (TFLLC)'s CCL application was submitted to the County Planning Department about three years ago and due to several issues the approval has been delayed until this year. The County issued a public notification of their intent to approve the TFLLC application, CCL-692, in March. Predictably the neighbors appealed on April 7 2023. This memo is our response to their appeal.

### Analysis

The issues listed in the appeal include the following:

- Driveway & Access
- Caltrans Encroachment Permit
- Address of Record
- Zoning Ordinance regarding access to local streets
- Trinity County Waterworks resolution requiring new developments to connect to the sewer
- Fire Department Access

### Driveway & Access:

We have ongoing issues with the neighbors over the shared driveway. 501 & 504 Oatman Road share a private driveway that is reserved by a 25' wide ingress/egress easement on TFLLC's property. The right of way agreement was recorded April 10, 1962, in book 100, Page 424 (**See Attachment - A**). 501 Oatman has the right to use TFLLC's property to access their landlocked property.

### Caltrans Encroachment Permit:

The neighbors primary complaint seems to be their claim that TFLLC does not have the right to use the driveway access off of highway 3 on TFLLC's property. Caltrans issues encroachment permits, much like the county, to ensure that private driveways and roads join the state highway according to their standards. The intent of the permit is to allow the work in the state's right of way to be secured, built in accordance with Caltrans standards and inspected, not to control who passes onto the private driveway or road.

In 2006 Brian Young filed a Caltrans encroachment permit application on behalf of the Dudley's on property that they don't own which is now the TFLLC property. In communications with Caltrans they have indicated that that permit was incorrectly issued but they have no reason to pursue any type of change or compliance requirements for the existing conditions.

Nevertheless we have filed a Caltrans encroachment permit application to allow the existing driveway approach to be resurfaced and brought into compliance with the Caltrans standards. **(See Attachment - B & C).**

Address of Record:

The current Address of Record has been 504 Oatman, according to county records, for over 20 years.

Zoning Ordinance regarding access to local streets:

The TFLLC parcel is zoned Heavy Industrial/Manufacturing (M2) with frontage onto Highway 3. Access from our parcel is directly to highway 3 and not through local streets or through lots.

Trinity County Waterworks resolution requiring new developments to connect to the sewer:

A new waterline was placed with coordination with the Hayfork water district in 2021. The existing septic system was removed and replaced with authorization from the Hayfork water district and the county department of EHS in 2022. **(See Attached Permit - D).**

Fire Department Access:

We believe we are in compliance with all county requirements including the fire department evidenced by having building permits and an CCL application approved.

The ongoing harassment, by the neighbors, has been reported to the sheriff. **(See Attached Letter - E).**

Essentially the following is emphasized in the complaint:

The property is currently unoccupied. We have employed a caretaker for the property, who has been harassed by Young's & Dudley's so often that he quit. For the same reason we're unable to find a replacement. We are in the process of renovating the existing ranch dwelling as well as working on the two existing accessory buildings. We have building permits that have been issued by the Trinity County Department of Building & Safety but we have had difficulty finding a contractor to do the work because of the ongoing issues with the neighbors.

Summary

This application has been under review and scrutiny by the county for over three years. The project has been approved.

Please review our responses to the appeal and deny the appeal request and allow our project to move forward as approved.

BOOK 100 PAGE 424

EASEMENT AND RIGHT OF WAY AGREEMENTTRINITY FLAVOR LLC - 504 OATMEN ROAD  
APN: 014-180-95-00

TRINITY ALPS LUMBER CO., a California corporation,

hereby grants to HARRISON B. OATMAN and NORENE T. OATMAN the  
DUDLEY - 501 OATMAN ROAD  
APN: 014-180-06-00  
perpetual free and unobstructed right, privilege and easement  
to enter into and upon, and to construct, maintain, use and  
operate, at the sole risk and expense of the said HARRISON B.  
OATMAN and NORENE T. OATMAN, a private road over and across,  
those certain lands situate in the County of Trinity, State  
of California, illustrated on the plat attached hereto and  
hereby made a part hereof, and particularly described as  
follows:

A strip of land of uniform width of 25 feet extending through the Southwest quarter of the Northwest quarter and the Southeast quarter of the Northwest quarter of Section 14, Township 31 North, Range 12 West, M. D. B. & M., beginning at a point on the southern boundary of, and 40 feet west of the eastern boundary of, the Southwest quarter of the Northwest quarter of Section 14; thence easterly along and north of the southern boundaries of the Southwest quarter of the Northwest quarter and the Southeast quarter of the Northwest quarter of Section 14, to the eastern boundary of the Southeast quarter of the Northwest quarter of Section 14; thence northerly along and west of the eastern border of the Southeast quarter of the Northwest quarter of Section 14 a distance of approximately 582 feet and terminating at State Highway 36; together with the rights, privileges, easements and franchises thereunto incident, appendant and appurtenant and therewith usually had and enjoyed, to have and to hold unto the said HARRISON B. OATMAN and NORENE T. OATMAN and their heirs, successors and assigns forever.

TRINITY ALPS LUMBER CO. reserves unto itself, its successors and assigns unrestricted access to and the perpetual free and unobstructed right at all times to use and to cross the aforesaid lands and road.

No timber shall be cut or destroyed on the aforesaid right of way except such as may be necessary in connection with the construction, maintenance, use and operation thereof. Any



merchantable timber cut shall be and remain the property of the person upon whose land the same is located.

HARRISON B. OATMAN and NORENE T. OATMAN shall indemnify and hold harmless TRINITY ALPS LUMBER CO., its successors and assigns, against and from any and all loss, damage and liability for damages, whether for damage to or loss of property, or injury to or death of person, which shall in any way arise out of or be connected with this easement and right of way agreement.

HARRISON B. OATMAN and NORENE T. OATMAN recognize the title of TRINITY ALPS LUMBER CO. to the aforesaid lands and agree never to assail or resist said title.

This easement and right of way agreement shall bind and inure to the benefit of the successors and assigns of TRINITY ALPS LUMBER CO. and the heirs, executors, administrators, successors and assigns of HARRISON B. OATMAN and NORENE T. OATMAN.

Date: January 22, 1962

31  
RECORDED AT THE REQUEST OF  
H. B. Oatman.  
DATE JAN 7 1963  
AT 20 MIN. PAST 2 P. M.  
BOOK No. OFFICIAL RECORDS  
PAGE TRINITY COUNTY,  
CALIFORNIA. FEE \$ 3.60 pd.  
Maureen Keeshing RECORDER

TRINITY ALPS LUMBER CO.

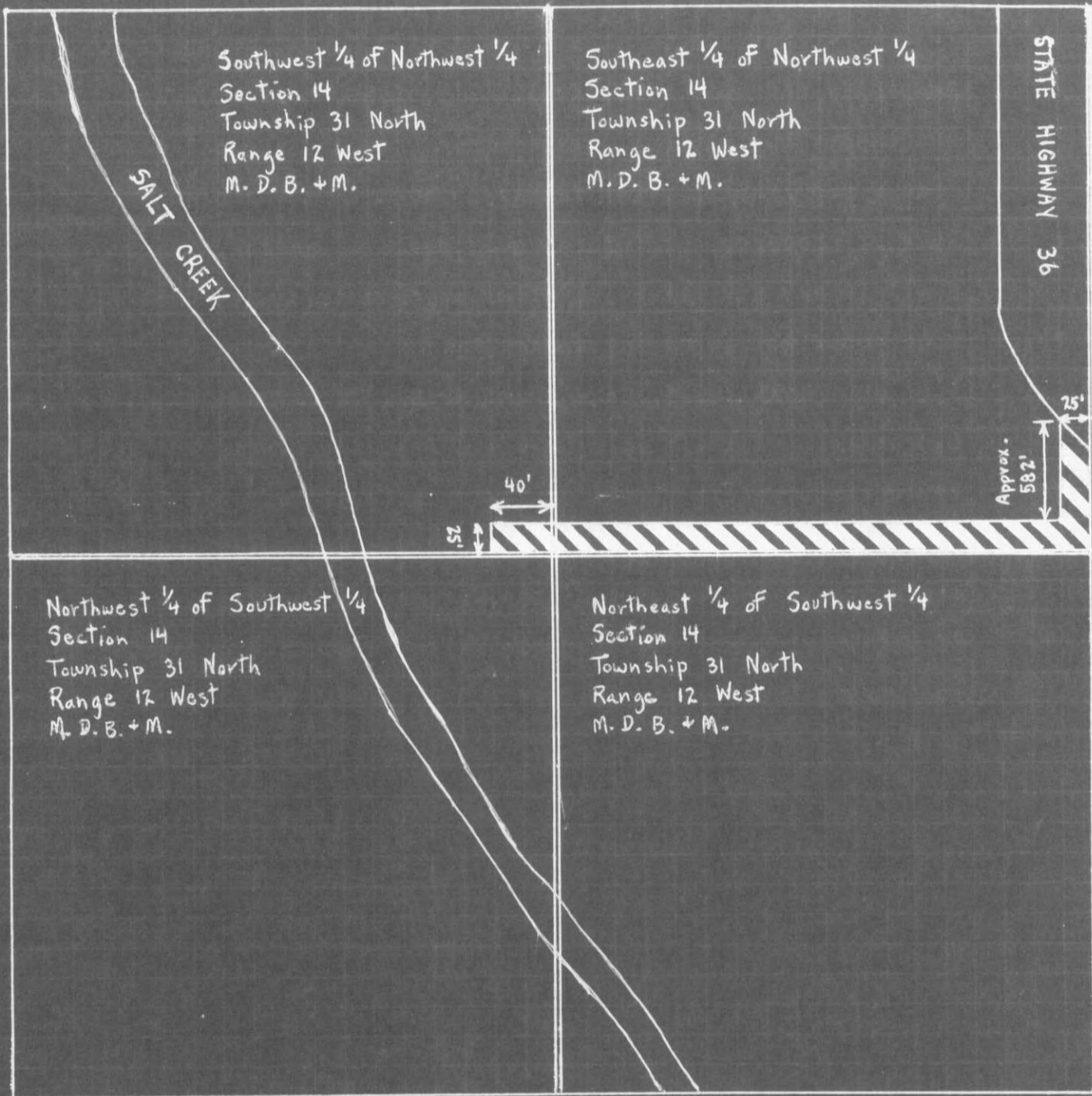
By C. J. Gray, V.P.

Harrison B. Oatman  
Harrison B. Oatman

Norene T. Oatman  
Norene T. Oatman

TRINITY COUNTY, CALIFORNIA  
EASEMENT AND RIGHT OF WAY:

BOOK 100 PAGE 426



GRANTOR: Trinity Alps Lumber Co.

GRANTEES: Harrison B. Oatman, Noreen T. Oatman

DATE: January 22, 1962

# ATTACHMENT B

STATE OF CALIFORNIA • DEPARTMENT OF TRANSPORTATION  
**STANDARD ENCROACHMENT PERMIT APPLICATION**  
 TR-0100 (REV 12/2018)

*Complete ALL fields, write "N/A" if not applicable. Type or print clearly.*  
 This application is not complete until all requirements have been approved.

Permission is requested to encroach on the State Highway right-of-way as follows:

1. COUNTY <b>TRINITY</b>		2. ROUTE <b>3</b>	3. POST MILE <b>560 SEE ATTACHED R/W MAP</b>
4. ADDRESS OR STREET NAME <b>504 OATMAN ROAD</b>		5. CITY <b>HAYFORK CA 96041</b>	
6. CROSS STREET (Distance and direction from project site) <b>HAYFORK DUMP ROAD - ACROSS HIGHWAY 3</b>			
7. WORK TO BE PERFORMED BY <input checked="" type="checkbox"/> APPLICANT <input type="checkbox"/> CONTRACTOR		8. IS THIS APPLICATION FOR THE CONTRACTOR'S (DOUBLE) PERMIT? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES. If "YES", provide the Parent Permit Number	
9. ESTIMATE START DATE <b>AUGUST 1 2023</b>		10. ESTIMATED COMPLETION DATE <b>OCTOBER 1 2023</b>	
11. ESTIMATED NUMBER OF WORKING DAYS WITHIN STATE HIGHWAY RIGHT-OF-WAY <b>5 DAYS</b>			
12. ESTIMATED CONSTRUCTION COSTS WITHIN STATE HIGHWAY RIGHT-OF-WAY <b>\$10,000</b>			
13. HAS THE PROJECT BEEN REVIEWED BY ANOTHER CALTRANS BRANCH? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES. If "YES", which branch?			
14. FUNDING SOURCE(S) <input type="checkbox"/> FEDERAL <input type="checkbox"/> STATE <input type="checkbox"/> LOCAL <input checked="" type="checkbox"/> PRIVATE <input type="checkbox"/> SB 1 (ROAD REPAIR AND ACCOUNTABILITY ACT OF 2017)			
15. CALTRANS PROJECT CODE (ID)		16. APPLICANT'S REFERENCE / UTILITY WORK ORDER NUMBER	

FOR CALTRANS USE
TRACKING NO.
DIST/CO/RTE/PM
SIMPLEX STAMP
DATE OF SIMPLEX STAMP

17. DESCRIBE WORK TO BE DONE WITHIN STATE HIGHWAY RIGHT-OF-WAY  
 Attach 6 complete sets of plans (folded to 8.5" x 11") and any applicable specifications, calculations, maps, traffic control plans, etc.  
 PROPOSED WORK INCLUDES FILING AN ENCROACHMENT PERMIT APPLICATION UNDER THE CURRENT PROPERTY OWNERS NAME FOR THE DRIVEWAY APPROACH ON THEIR PROPERTY. PREVIOUS ENCROACHMENT PERMIT WAS ISSUED TO AN ADJOINING PROPERTY OWNER'S REPRESENTATIVE. THE WORK TO BE PERFORMED UNDER THIS PERMIT IS TO RESURFACE THE EXISTING DRIVEWAY APPROACH AND IMPROVE THE EXISTING TRANSITION FROM HIGHWAY 3 INTO THE PRIVATE DRIVEWAY PER STANDARD DETAIL "RC-D". SEE ATTACHED ENGINEERED PLANS.

18 (a). PORTION OF STATE HIGHWAY RIGHT-OF-WAY WHERE WORK IS BEING PROPOSED (check all that apply)  
 Traffic lane    Shoulder    Sidewalk    Median    At or near an intersection    Mobile work  
 Outside of the shoulder, \_\_\_\_\_ feet from edge of pavement    Other **PROJECT INCLUDES RESURFACING THE E. DRIVEWAY TO THE E. EDGE OF PAVEMENT.**

18 (b). PROPOSED TRAFFIC CONTROL PLANS AND METHOD  
 No traffic control needed    State Standard Plans (T-Sheets) # **T13A & T13B - SEE ATTACHED**  
 Project specific Traffic Control Plans included    To be submitted by contractor

19. <b>N/A</b> EXCAVATION	MAX. DEPTH (in) <b>N/A</b>	MIN. DEPTH (in) <b>N/A</b>	AVG. WIDTH (in) <b>N/A</b>	LENGTH (ft) <b>N/A</b>	SURFACE TYPE (e.g. Asphalt, concrete, soil, etc.) <b>N/A</b>
20. <b>N/A</b> PIPES	PRODUCT BEING TRANSPORTED <b>N/A</b>	CARRIER PIPE DIAMETER <b>N/A</b> (in.) MATERIAL <b>N/A</b>	CASING PIPE DIAMETER <b>N/A</b> (in.) MATERIAL <b>N/A</b>	PROPOSED INSTALLATION METHOD (e.g. HDD, Bore & Jack, Open Cut, etc.) <b>N/A</b>	
					VOLTAGE / PSIG <b>N/A</b>

DOES THE PROPOSED PROJECT INVOLVE THE REPLACEMENT AND/OR ABANDONMENT OF AN EXISTING FACILITY?  
 NO    YES. If "YES", provide a description

21. IS A CITY, COUNTY OR OTHER PUBLIC AGENCY INVOLVED IN THE APPROVAL OF THIS PROJECT?  
 YES (if "YES", check the type of project AND attach the environmental documentation and conditions of approval)  
 COMMERCIAL DEVELOPMENT    BUILDING    GRADING    OTHER \_\_\_\_\_  
 CATEGORICALLY EXEMPT    NEGATIVE DECLARATION    ENVIRONMENTAL IMPACT REPORT    OTHER \_\_\_\_\_  
 NO (if "NO", check the category below which best describes the project AND answer questions A-K on page 2)  
 DRIVEWAY OR ROAD APPROACH, RECONSTRUCTION, MAINTENANCE OR RESURFACING    FENCE    EROSION CONTROL  
 PUBLIC UTILITY MODIFICATION, EXTENSIONS, HOOKUPS    MAILBOX    LANDSCAPING  
 FLAGS, SIGNS, BANNERS, DECORATIONS, PARADES AND CELEBRATIONS    OTHER \_\_\_\_\_

**ADA Notice** For individuals with sensory disabilities, this document is available in alternate formats. For alternate format information, contact the Forms Management Unit at (916) 445-1233, TTY 711, or write to Records and Forms Management, 1120 N Street, MS-89, Sacramento, CA 95814.

TRACKING NO.

**The following questions must be answered when a City, County or other public agency IS NOT involved in the approval of this project.**

Your answers to these questions will assist Caltrans staff in identifying any physical, biological, social or economic resources that may be affected by your proposed project within State Highway right-of-way and to determine which type of environmental studies may be required to approve your application for an encroachment permit. It is the applicant's responsibility for the production of all required environmental documentation and supporting studies and in some cases this may be costly and time consuming. If possible, attach photographs of the location of the proposed project. Answer these questions to the best of your ability. Provide a description of any "YES" answers (type, name, number, etc.).

- A. Will any existing vegetation and/or landscaping within State Highway right-of-way be disturbed?  
NO
- B. Are there waterways (e.g. river, creek, pond, natural pool or dry streambed) adjacent to or within the limits of the proposed project?  
NO
- C. Is the proposed project located within five miles of the coast line?  
NO
- D. Will the proposed project generate construction noise levels greater than 86 decibels (dBA) (e.g. Jack-hammering, pile driving)?  
NO
- E. Will the proposed project incorporate land from a public park, recreation area or wildlife refuge open to the public?  
NO
- F. Are there any recreational trails or paths within the limits of the proposed project?  
NO
- G. Will the proposed project impact any structures, buildings, rail lines or bridges within State Highway right-of-way?  
NO
- H. Will the proposed project impact access to any businesses or residences?  
NO
- I. Will the proposed project impact any existing public utilities or public services?  
NO
- J. Will the proposed project impact any existing pedestrian facilities, such as sidewalks, crosswalks or overcrossings?  
NO
- K. Will new lighting be constructed within or adjacent to State Highway right-of-way?  
NO
22. Will the proposed project cause a substantial change in the significance of a historical resource (45 years or older), or cultural resource?  YES  NO (if "YES", provide a description)
23. Will the proposed project be on an existing State Highway or street where the activity involves removal of a scenic resource? (e.g. A significant tree or stand of trees, a rock outcropping or a historic building)  YES  NO (if "YES", provide a description)
24. Is work being done on the applicant's property in addition to State Highway right-of-way?  YES  NO  
SEE ATTACHED PLANS (If "YES", attach 6 complete sets of site and grading plans)
25. Will the proposed project require the disturbance of soil?  YES  NO  
If "YES", estimate the area of disturbed soil within State Highway right-of-way in acres: \_\_\_\_\_  
and estimate the area of disturbed soil outside State Highway right-of-way in acres: \_\_\_\_\_
26. Will the proposed project require dewatering?  YES  NO  
If "YES", estimate Total gallons AND gallons/month. \_\_\_\_\_ (Total gallons) AND \_\_\_\_\_ (gallons/month)  
SOURCE\*:  STORMWATER  NON-STORMWATER  
(\*See Caltrans SWMP for definition of non-storm water discharge: <http://www.dot.ca.gov/env/stormwater/>)
27. How will any storm water or ground water be disposed?  
 Storm Drain System  Combined Sewer / Stormwater System  Stormwater Retention Basin  N/A  
 Other (explain) \_\_\_\_\_

TRACKING NO.

**READ THE FOLLOWING CLAUSES PRIOR TO SIGNING THIS ENCROACHMENT PERMIT APPLICATION.**

The applicant's submission of this application to the California Department of Transportation constitutes the applicant's agreement and representation that the work or other activity contemplated by the encroachment permit application shall comply with all applicable standards, specifications, policies, requirements, conditions, and regulations of the California Department of Transportation, and the applicant understands the application may be denied if there is non-compliance with any of the above. An exception process exists and may result in approval of a non-compliant encroachment, in the discretion of the California Department of Transportation, but the exception process may require additional time to complete. The applicant understands and agrees all work or other activity contemplated by the encroachment permit application is subject to inspection and oversight by the California Department of Transportation. The applicant understands and agrees encroachment permit fees must still be paid if an application is withdrawn or denied. The applicant understands a denial may be appealed, in accordance with California Streets and Highways Code, Section 671.5, and the related regulations found in California Code of Regulations, Title 21, Division 2, Chapter 8, Article 2.

The applicant understands and agrees that immediately upon issuance of the encroachment permit the applicant is bound by, subject to, and must comply with the "Encroachment Permit General Provisions" (TR-0045), "Stormwater Special Provisions" (TR-0400) and any other applicable Special Provisions and Conditions of the encroachment permit. The "Encroachment Permit General Provisions" (TR-0045), and the Stormwater Special Provisions (TR-0400) are available at: [http://www.dot.ca.gov/trafficops/ep/docs/Appendix\\_K\\_\(WEB\).pdf](http://www.dot.ca.gov/trafficops/ep/docs/Appendix_K_(WEB).pdf). If a paper copy is needed of the "Encroachment Permit General Provisions" (TR-0045) and/or "Stormwater Special Provisions" (TR-0400), please contact the District Office of Encroachment Permits. Their contact information is available at: [http://www.dot.ca.gov/trafficops/ep/docs/Appendix\\_G\\_\(WEB\).pdf](http://www.dot.ca.gov/trafficops/ep/docs/Appendix_G_(WEB).pdf). The "Encroachment Permit General Provisions" (TR-0045) and any other applicable Special Provisions and Conditions will be provided as part of the encroachment permit. Information about Stormwater requirements is available at the Internet address: <http://www.dot.ca.gov/hq/construc/stormwater/>.

The applicant understands an encroachment permit may be denied, revoked, and/or a bond may be required, for non-payment of prior or present encroachment permit fees. An encroachment permit is not a property right and does not transfer with the property to a new owner. Each of the persons purporting to execute this application on behalf of the applicant and/or on behalf of the applicant's authorized agent or engineer represents and warrants such person has full and complete legal authority to do so and to thereby bind applicant to the terms and conditions herein and to the terms and/or conditions of the encroachment permit. Applicant understands and agrees this application may be executed in one or more counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same instrument. Executed copies of this application and/or its counterparts may be reproduced and/or exchanged by copy machine, mailing, facsimile, or electronic means (such as e-mail), and such copies shall be deemed to be effective as originals.

28. NAME OF APPLICANT (Project or Property Owner or Organization)  
 TRINITY FLAVOR LLC

ADDRESS OF APPLICANT (Include City, State and Zip Code)  
 3974 SORRENTO VALLEY BLVD. #910770 SAN DIEGO CA 92121-1410

E-MAIL ADDRESS mikedeu10@gmail.com	PHONE NUMBER 858.452.3202 ext. #4	FAX NUMBER
---------------------------------------	--------------------------------------	------------

29. NAME OF AUTHORIZED AGENT / ENGINEER  
 (A "Letter of Authorization" is required if different from #28)  
 THOMAS GOCHA - TCG ASSOCIATES

IS A LETTER OF AUTHORIZATION ATTACHED?  
 YES  NO

ADDRESS OF AUTHORIZED AGENT / ENGINEER (Include City, State and Zip Code)  
 PO BOX 578 HAYFORK CA 96041

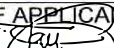
E-MAIL ADDRESS tcg@gochadesign.net	PHONE NUMBER 805.451.8491	FAX NUMBER
---------------------------------------	------------------------------	------------

30. NAME OF BILLING CONTACT (Same as #28  Same as #29 )

BILLING ADDRESS WHERE INVOICE(S) IS / ARE TO BE MAILED (Include City, State and Zip Code)  
 3974 SORRENTO VALLEY BLVD. #910770 SAN DIEGO CA 92121-1410

E-MAIL ADDRESS mikedeu10@gmail.com	PHONE NUMBER 858.452.3202 ext. #4	FAX NUMBER
---------------------------------------	--------------------------------------	------------

\* I hereby certify under penalty of perjury under the laws of the State of California that the information in this application and any document submitted with or in support of this application are true and correct to the best of my knowledge and belief, and that copies of any documents submitted with or in support of this application are true and correct copies of unaltered original documents. I further understand that if I have provided information that is false, intentionally incomplete, or misleading I may be charged with a crime and subjected to fine or imprisonment, or both fine and imprisonment. (Penal Code Section 72)

31. SIGNATURE OF APPLICANT OR AUTHORIZED AGENT* 	32. PRINT OR TYPE NAME THOMAS GOCHA - TCG ASSOCIATES
--	---

33. TITLE AGENT	34. DATE JUNE 11 2023
--------------------	--------------------------

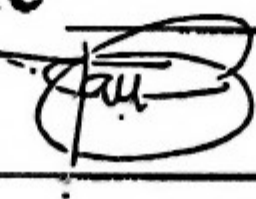
DEPARTMENT OF TRANSPORTATION  
OFFICE OF ENCROACHMENT PERMITS  
1657 RIVERSIDE DRIVE  
REDDING, CA 96001-0536  
PHONE (530) 225-3400  
FAX (530) 225-3097  
TTY (530) 225-2019



Making Conservation a  
California Way of Life.

**Agent's Authorization Form**  
**(Required only if Applicant is other than the property owner)**

I, the undersigned, state that I am (one of) the owner(s) of the proposed \_\_\_\_\_  
DRIVEWAY RESURFACING & ENCROACHMENT PERMIT

(County TRINITY Route 3 Postmile 560 ). I do hereby authorize and  
empower THOMAS GOCHA - TCG ASSOCIATES 

to act on my behalf on all matters relating to said project in connection with its filing, processing,  
approval, conditional approval or disapproval by the State of California, Department of  
Transportation (Caltrans), officers and employees.

Should I revoke this authorization it is my responsibility to serve written notice of said revocation  
to Caltrans by delivery to the Encroachment Permits Office.

MICHAEL DEUTSCH - TRINITY FLAVOR LLC

Owner (Print) \_\_\_\_\_



Signature \_\_\_\_\_

3974 SORRENTO VALLEY BLVD #910770  
SAN DIEGO CA 92121

Address \_\_\_\_\_

858.452.3202

Phone \_\_\_\_\_

Owner (Print) \_\_\_\_\_

Signature \_\_\_\_\_

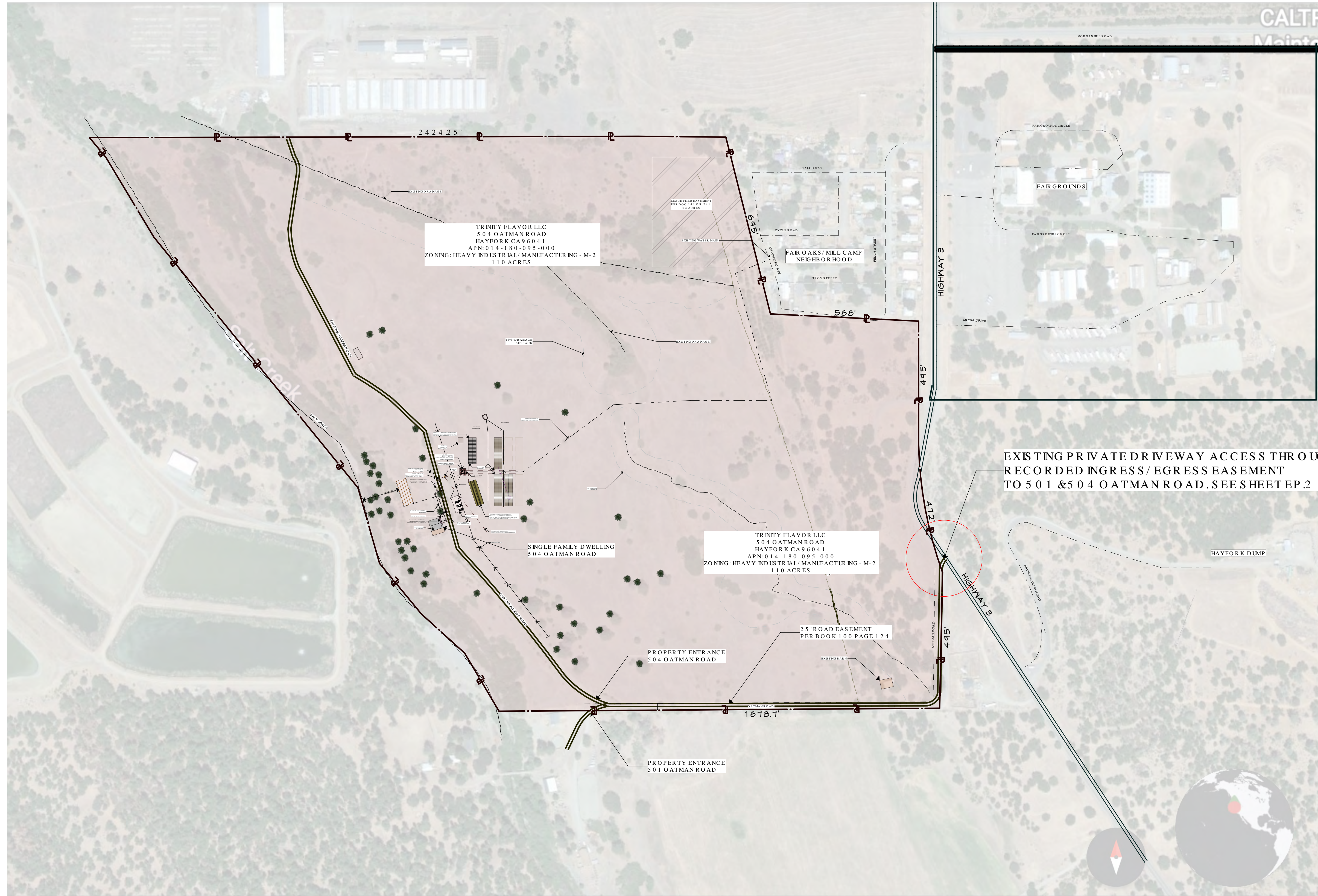
Address \_\_\_\_\_

Phone \_\_\_\_\_

JUNE 11 2023

Date \_\_\_\_\_

Date \_\_\_\_\_



**SHEET INDEX:**

EP.1	SITE PLAN WITH OVERLAY
EP.2	DRIVEWAY ENCROACHMENT SURFACING PLAN
EP.3	TRAFFIC CONTROL PLAN - T1 3 A
EP.4	TRAFFIC CONTROL PLAN - T1 3 B
EP.5	CALTRANS ROW MAP - 02 - TR1 3

Parcel 014-180-095-000  
 Street Address: 504 Oatman Rd  
 City, State, ZIP: Hayfork, CA 96041  
 Lot Acres: 110.10  
 Zoning District: Heavy Industrial/Manufacturing (M2)  
 General Plan Designation: Industrial (I)  
 Affected by FEMA 2016 Flood Zone: Yes  
 Supervisorial District: 5  
 Current Supervisor: Dan Frasier  
 School District: Mountain Valley Unified School District  
 Fire Protection: Hayfork Fire Protection District  
 Water Services: Trinity County Waterworks District No. 1  
 Sewer Services: Trinity County Waterworks District No. 1  
 Electricity: Trinity Public Utilities District

REVISIONS:	DATE:
△	
△	
△	
△	
△	

**THOMAS GOCHA**  
 DESIGN  
 PLANNING  
 CONSULTING  
 PROJECT MANAGEMENT

**TRINITY COUNTY**  
 PO BOX 578  
 HAYFORK, CA 96041  
 805.451.8491  
 tgc@gochadesign.net

**SANTA BARBARA COUNTY**  
 VENTURA COUNTY  
 1072 CASITAS PASS ROAD  
 CARPINTERIA, CA 93013  
 805.451.8491  
 tgc@gochadesign.net

www.gochadesign.net

**ENGINEER:**  
 TRINITY VALLEY  
 CONSULTING ENGINEERS  
 2200 MAIN STREET  
 WEAVERVILLE CA 96093  
 530.629.3000

**STAMP:**

**PROJECT:**  
 PROPOSED SITE  
 DEVELOPMENT PLAN  
 TRINITY FLAVOR LLC  
 504 OATMAN ROAD  
 HAYFORK CA 96041  
 APN: 014-180-95-00

**OWNER:**  
 TRINITY FLAVOR LLC  
 3974 SORRENTO VALLEY BLVD  
 #910770  
 SAN DIEGO CA 92121-1410

**PROJECT PHASE:**  
 DEVELOPMENT PLAN  
 BLDG2022-00183  
 CCL-692

**SHEET CONTENTS:**  
 SITE PLAN OVERLAY

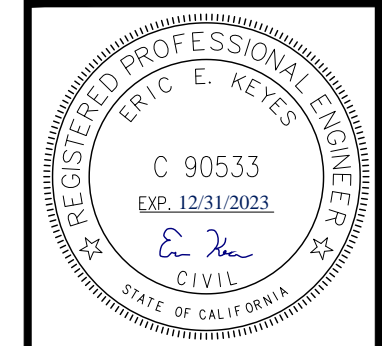
DATE: JUNE 11 2023  
 SCALE: AS SHOWN  
 DRAWN BY: TCG  
 CHECKED BY: TCG  
 JOB No: 014-180-95-00

SHEET No:

**1 SITE PLAN**  
 SCALE: 1" = 200'

NOTE: ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE. REPORT ALL DISCREPANCIES IN WRITING TO TCG ASSOCIATES LLC FOR CLARIFICATION. DRAWINGS, IMAGES AND DESIGNS ON THIS PAGE OF PLANS ARE THE PROPERTY OF TCG ASSOCIATES LLC AND SHALL NOT BE REPRODUCED, PRINTED OR COPIED WITHOUT PRIOR WRITTEN PERMISSION.

**EP.1**



THOMAS GOCHA  
DESIGN  
PLANNING  
CONSULTING  
PROJECT MANAGEMENT

TRINITY COUNTY  
PO BOX 578  
HAYFORK, CA 96041  
805.451.8491  
tcg@gochadesign.net

VENTURA COUNTY  
SANTA BARBARA COUNTY  
1072 CASITAS PASS ROAD  
CARPINTERIA, CA 93013  
805.451.8491  
tcg@gochadesign.net

www.gochadesign.net

ENGINEER:  
TRINITY VALLEY  
CONSULTING ENGINEERS  
2200 MAIN STREET  
WEAVERVILLE CA 96093  
530.629.3000

PROJECT:  
PROPOSED SITE  
DEVELOPMENT PLAN  
TRINITY FLAVOR LLC  
504 OATMAN ROAD  
HAYFORK CA 96041  
AFN: 014-180-95-00

OWNER:  
TRINITY FLAVOR LLC  
3974 SORRENTO VALLEY BLVD  
#910770  
SAN DIEGO CA 92121-1410

PROJECT PHASE:  
DEVELOPMENT PLAN  
BLD62022-00183  
CCL-692

SHEET CONTENTS:  
RESURFACING PLAN  
@ EXISTING  
DRIVEWAY  
tcg associates llc

DATE OF ISSUE:  
JUNE 2023  
SCALE:  
1" = 80'  
PROJECT NO:  
1331.31  
DRAWING NO:  
C01.0

DATE: JUNE 11 2023  
SCALE: AS SHOWN  
DRAWN BY: TCG  
CHECKED BY: TCG  
JOB No: 014-180-95-00

SHEET No:

**CONTRACTOR ALERT!**  
CONTRACTOR MUST CONTACT USA DIG AT 800-227-2600 AT LEAST 72 HOURS BEFORE ANY EARTHWORK OR ACTIVITIES THAT MAY IMPACT EXISTING UNDERGROUND UTILITIES.  
EXISTING UTILITY ALIGNMENTS BOTH HORIZONTALLY AND VERTICALLY MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION ACTIVITIES.

**AGGREGATE BASE ROCK NOTES:**

1. AGGREGATE BASE SHALL BE CALTRANS CLASS II.
2. AGGREGATE BASE SHALL BE INSTALLED PER SECTION 26 OF THE CALTRANS STANDARD SPECIFICATIONS.
3. AGGREGATE BASE SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION PER CT 231.

**ASPHALT CONCRETE NOTES:**

1. ASPHALT CONCRETE SHALL BE 1/2" MAXIMUM RADIUS HOT MIX TYPE A. CONTRACTOR TO SUBMIT MIX DESIGN FOR APPROVAL.
2. ASPHALT CONCRETE SHALL BE INSTALLED IN STRICT ACCORDANCE WITH SECTION 39 OF THE CALTRANS STANDARD SPECIFICATIONS.
3. ASPHALT CONCRETE SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION AS VERIFIED PER CAL 216.
4. EXISTING AC SURFACES SHALL BE CUT TO A NEAT STRAIGHT LINE PARALLEL WITH THE CENTERLINE AND THE EXPOSED EDGE SHALL BE TACKED WITH EMULSION PRIOR TO PAVING. THE EXPOSED BASE MATERIAL SHALL BE GRADED, RE-COMPACTED, AND RESEALED PRIOR TO PAVING.

**QUANTITIES:**

1. QUANTITIES AND LENGTHS OF ITEMS PROVIDED WITHIN THIS PLAN SET ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ACTUAL QUANTITIES OF COMPONENTS REQUIRED FOR THE SUCCESSFUL AND SATISFACTORY COMPLETION OF THE PROJECT.

**DUST CONTROL NOTES:**

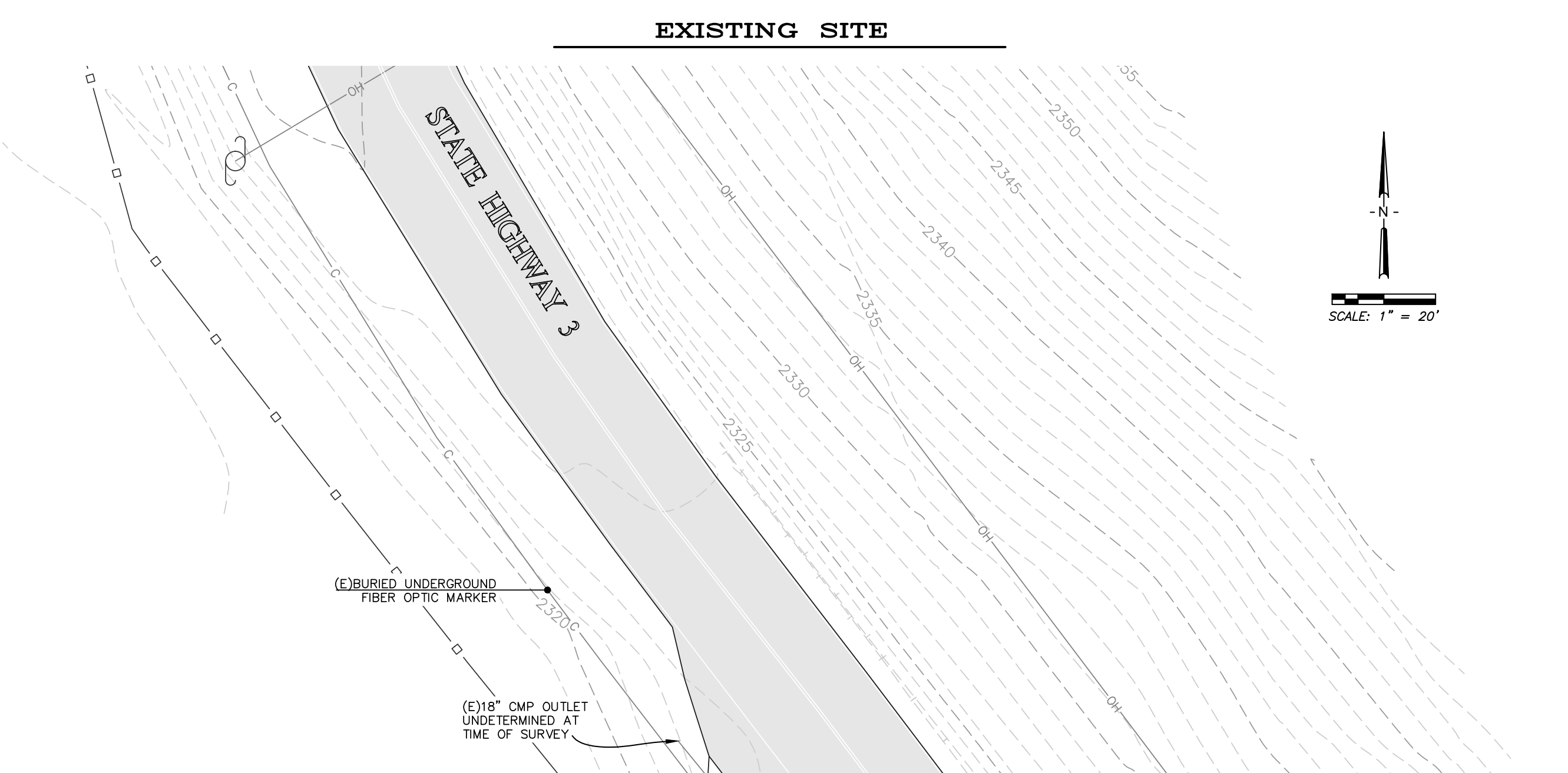
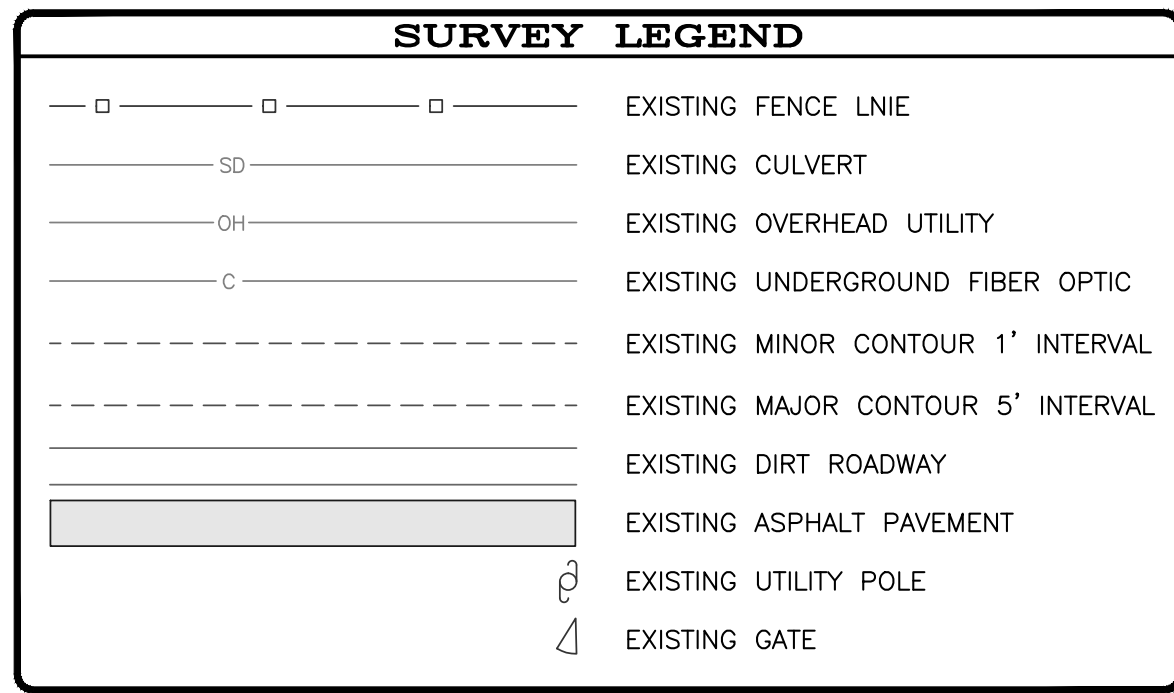
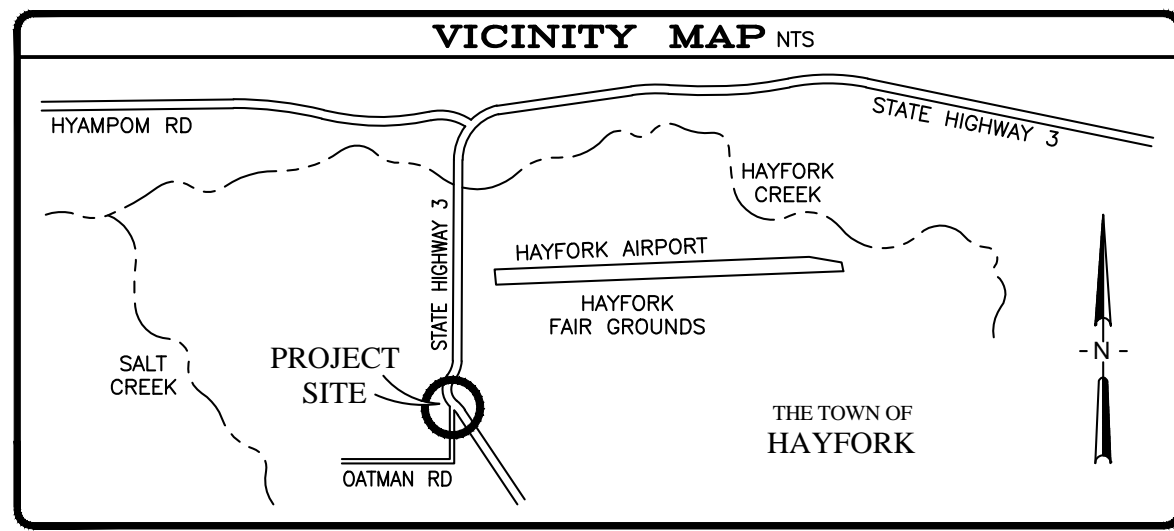
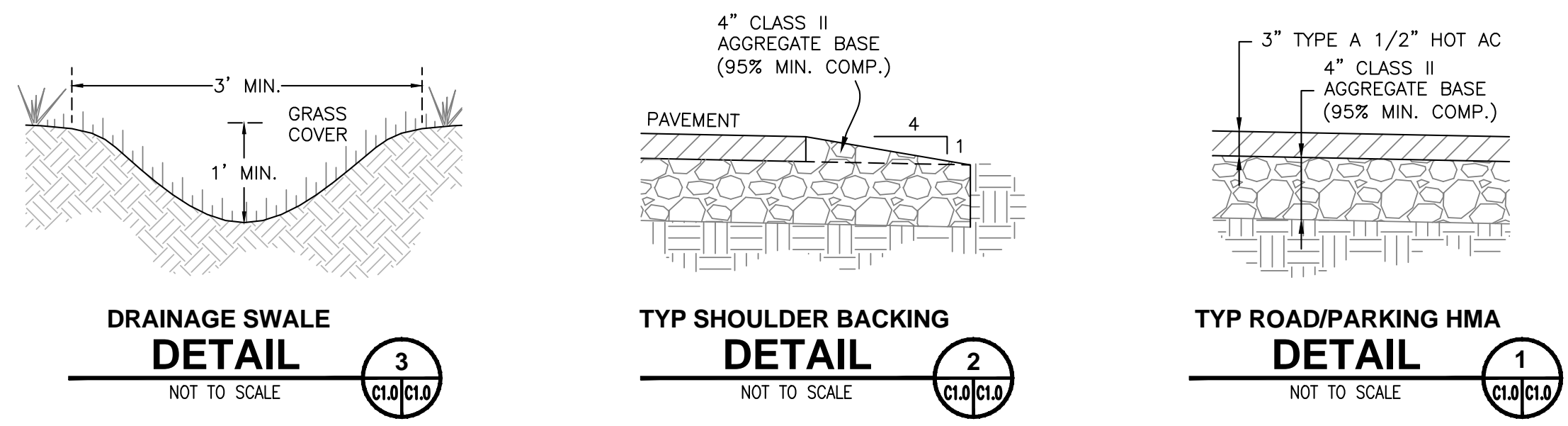
1. THE CONTRACTOR SHALL IMPLEMENT ONE OR BOTH OF THE FOLLOWING MEASURES FOR DUST CONTROL ON THIS SITE:
2. SPRAYING OF WATER SO AS NOT TO GENERATE ADDITIONAL RUNOFF. NO DUST PALLIATIVE MATERIALS OTHER THAN WATER WILL BE USED ON THIS PROJECT. IF NON-POTABLE WATER IS TO BE USED, IT MUST BE CONVEYED IN TANKS OR PIPES CLEARLY LABELED AS "NON-POTABLE WATER - DO NOT DRINK".
3. COVERS FOR EXPOSED AREAS.

**GENERAL NOTES:**

1. DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN IN THESE DRAWINGS SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPLICABLE CONTRACT SPECIFICATIONS.
2. THE CONTRACTOR SHALL PROVIDE ALL UTILITIES AS NECESSARY TO SUCCESSFULLY COMPLETE ALL CONSTRUCTION ACTIVITIES.
3. ALL EXISTING AND PROPOSED DIMENSIONS DEPICTED HEREIN SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO STARTING WORK.
4. THE CONTRACTOR SHALL POSSESS THE CLASS, OR CLASSES, OF LICENSE AS SPECIFIED IN THE NOTICE TO CONTRACTORS.

**TRAFFIC CONTROL NOTES:**

1. WHENEVER THE WORK AREA IS ADJACENT TO A TRAFFIC LANE AND THERE IS A CUT, DITCH OR TRENCH MORE THAN TWO INCHES DEEP, THE CONTRACTOR SHALL MAINTAIN CONTINUOUS BARRICADES SPACED AT APPROXIMATELY 20-FOOT INTERVALS FOR THE FIRST 100 FEET FROM THE BEGINNING OF THE CUT, DITCH OR TRENCH, AND AT APPROXIMATELY 50-FOOT INTERVALS THEREAFTER. IF THE CUT, DITCH OR TRENCH IS MORE THAN TEN FEET FROM A TRAFFIC LANE, THE BARRICADED SPACING MAY BE GREATER BUT SHALL NOT EXCEED 200 FEET.
2. UNLESS SPECIFICALLY SET FORTH AS SPECIAL PROVISIONS, ALL MARKED LANES OF TRAFFIC SHALL BE UNOBSTRUCTED IN EACH DIRECTION DURING THE PEAK TRAFFIC HOURS OF 7:00 TO 8:30AM AND 3:30 TO 6:00 PM.
3. SAFE VEHICULAR AND PEDESTRIAN ACCESS SHALL BE PROVIDED AT ALL TIMES DURING CONSTRUCTION.
4. TRACK MOUNTED VEHICLES SHALL NOT BE OPERATED ON PAVED ROADS.



**SURVEY NOTES**

FIELD SURVEY FOR TOPOGRAPHIC PURPOSES WAS PERFORMED BY TVCE ON 05/10/2023. NO LIABILITY IS ASSUMED BY TVCE FOR THE EXISTENCE OF SUBSURFACE FEATURES, IF ANY EXIST.

HORIZONTAL DATUM IS SPC Z1, NAD83\_2011 (EPOCH 2010.00), GRID BEARINGS AND DISTANCES, US SURVEY FEET AND DECIMALS THEREOF.

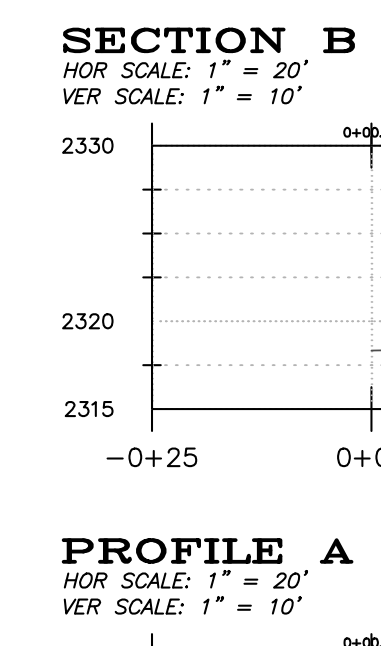
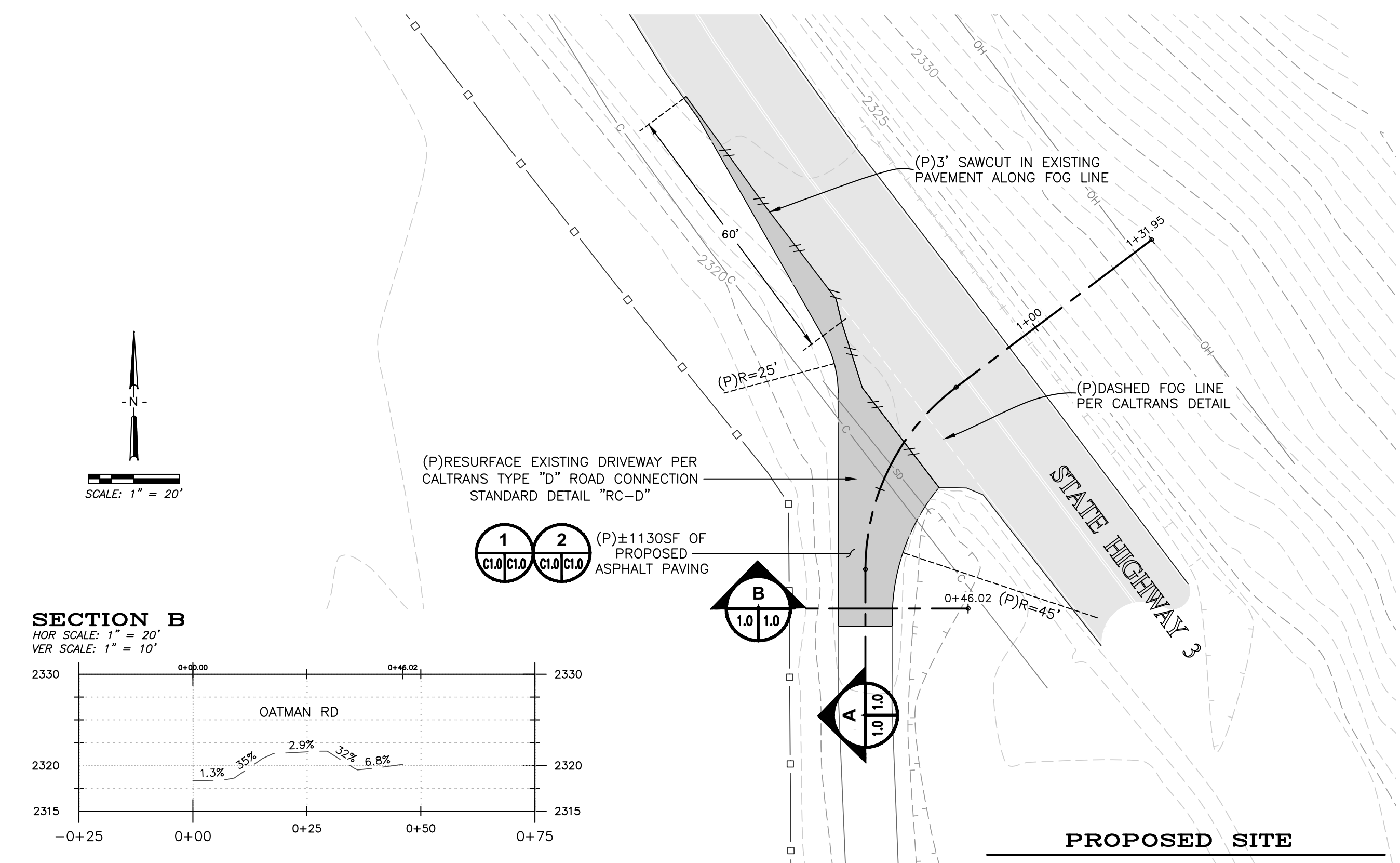
APPLY A CONVERGENCE OF -0'46'45" AT SURVEY CONTROL #1000 FOR GEODETIC BEARINGS.

APPLY A COMBINED SCALE FACTOR OF 1,00019861 AT SURVEY CONTROL #1000 FOR GROUND DISTANCES.

VERTICAL DATUM IS NAVD88(GEOD18)

A BOUNDARY SURVEY WAS NOT CONDUCTED BY TVCE. NO LIABILITY IS ASSUMED BY TVCE FOR TITLE DEFECTS OR ENCUMBRANCES, IF ANY EXIST.

NO PROPERTY LINES ARE SHOWN HEREON. FURTHER SURVEYING OUTSIDE THE SCOPE OF THIS DRIVEWAY RESURFACING PROJECT, IS NEEDED TO DETERMINE TO TITLE OCCUPATION AND RIGHT OF WAY LINES.






**THOMAS GOCHA**  
DESIGN  
PLANNING  
CONSULTING  
PROJECT MANAGEMENT

**A S S O C I A T E S**

TRINITY COUNTY  
PO BOX 578  
HAYFORK, CA 96041  
805.451.8491  
tgc@gochadesign.net

VENTURA COUNTY  
SANTA BARBARA COUNTY  
1072 CASITAS PASS ROAD  
CARPINTERIA, CA 93013  
805.451.8491  
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www.gochadesign.net

ENGINEER:  
TRINITY VALLEY  
CONSULTING ENGINEERS

2200 MAIN STREET  
WEAVERVILLE CA 96093  
530.629.3000

STAMP:

PROJECT:  
PROPOSED SITE  
DEVELOPMENT PLAN

TRINITY FLAVOR LLC  
504 OATMAN ROAD  
HAYFORK CA 96041  
APN: 014-180-95-00

OWNER:  
TRINITY FLAVOR LLC  
5974 SORRENTO VALLEY BLVD  
#910770  
SAN DIEGO CA 92121-1410

PROJECT PHASE:  
DEVELOPMENT PLAN  
BLDG2022-00183  
CCL-692

SHEET CONTENTS:  
TRAFFIC CONTROL  
PLAN T13A

lg associates llc

DATE: JUNE 11 2023

SCALE: AS SHOWN

DRAWN BY: TCG

CHECKED BY: TCG

JOB No: 014-180-95-00

SHEET No:

EP.3

DIST	COUNTY	ROUTE	POST MILES TOTAL PROJECT	SHEET No.	TOTAL SHEETS

*Charles D. Szyglo*  
REGISTERED CIVIL ENGINEER

August 1, 2022  
PLANS APPROVAL DATE

THE STATE OF CALIFORNIA OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF SCANNED COPIES OF THIS PLAN SHEET.

**Charles D. Suszko**  
REGISTERED PROFESSIONAL ENGINEER  
No. C43029  
Exp. 3-31-24  
CIVIL  
STATE OF CALIFORNIA

**LEGEND:**

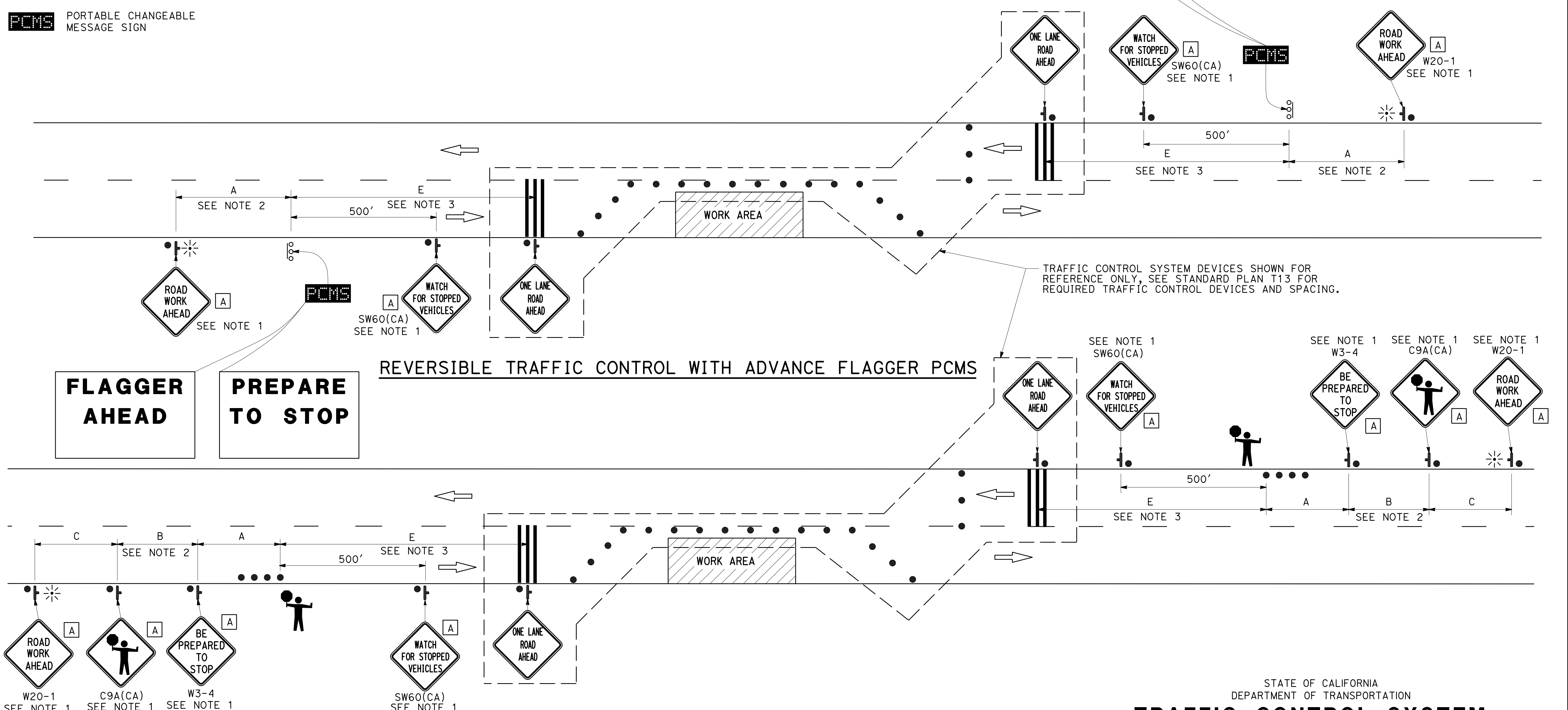
- TRAFFIC CONE
- † TEMPORARY TRAFFIC CONTROL SIGN
- ☼ PORTABLE FLASHING BEACON
- ☐ TRAILER
- 👤 FLAGGER
- PCMS PORTABLE CHANGEABLE MESSAGE SIGN

**SIGN PANEL SIZE (Min):**  
A 48" x 48"

**FLAGGER AHEAD**

**PREPARE TO STOP**

PCMS



TRAFFIC CONTROL SYSTEM DEVICES SHOWN FOR REFERENCE ONLY, SEE STANDARD PLAN T13 FOR REQUIRED TRAFFIC CONTROL DEVICES AND SPACING.

STATE OF CALIFORNIA  
DEPARTMENT OF TRANSPORTATION

**TRAFFIC CONTROL SYSTEM  
TWO LANE CONVENTIONAL  
HIGHWAYS**

NO SCALE

- NOTES:**
- Sign must be equipped with at least two flags for daytime closures. Flags must be orange in color and at least 16 inches by 16 inches in size. Place flashing beacons as shown for closures during hours of darkness.
  - See Standard Plan T9, Table 3 for advanced warning sign spacing.
  - See Standard Specification 12-4.02C.

**T13A**

2022 STANDARD PLAN T13A

[Return to Table of Contents](#)

NOTE: ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE. REPORT ALL DISCREPANCIES IN WRITING TO TCG ASSOCIATES LLC FOR CLARIFICATION. DRAWINGS, IMAGES AND DESIGNS ON THIS PAGE OF PLANS ARE THE PROPERTY OF TCG ASSOCIATES LLC AND SHALL NOT BE REUSED, PRINTED OR COPIED WITHOUT PRIOR WRITTEN PERMISSION.

REVISIONS:	DATE:

DIST	COUNTY	ROUTE	POST MILES TOTAL PROJECT	SHEET TOTAL No. SHEETS

*Charles D. Szych*  
 REGISTERED CIVIL ENGINEER  
 August 1, 2022  
 PLANS APPROVAL DATE  
THE STATE OF CALIFORNIA OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF SCANNED COPIES OF THIS PLAN SHEET.

REGISTERED PROFESSIONAL ENGINEER  
 Charles D. Szychko  
 No. C43029  
 Exp. 3-31-24  
 CIVIL  
 STATE OF CALIFORNIA

**THOMAS GOCHA**  
DESIGN PLANNING CONSULTING PROJECT MANAGEMENT

**A S S O C I A T E S**  
 TRINITY COUNTY  
 PO BOX 578  
 HAYFORK, CA 96041  
 805.451.8491  
 tcg@gochadesign.net

**E S**  
 VENTURA COUNTY  
 1072 CASHAS PASS ROAD  
 CARPINTERIA, CA 93013  
 805.451.8491  
 tcg@gochadesign.net

**L L C**  
 www.gochadesign.net

**2022 STANDARD PLAN T13B**

ENGINEER:  
 TRINITY VALLEY CONSULTING ENGINEERS  
 2200 MAIN STREET  
 WEAVERVILLE CA 96093  
 530.629.3000

STAMP:

PROJECT:  
 PROPOSED SITE DEVELOPMENT PLAN  
 TRINITY FLAVOR LLC  
 504 OATMAN ROAD  
 HAYFORK CA 96041  
 APN: 014-180-95-00

OWNER:  
 TRINITY FLAVOR LLC  
 5974 SORRENTO VALLEY BLVD  
 #910770  
 SAN DIEGO CA 92121-1410

PROJECT PHASE:  
 DEVELOPMENT PLAN  
 BLDG2022-00183  
 CCL-692

SHEET CONTENTS:  
 TRAFFIC CONTROL PLAN T13B

DATE: JUNE 11 2023

SCALE: AS SHOWN

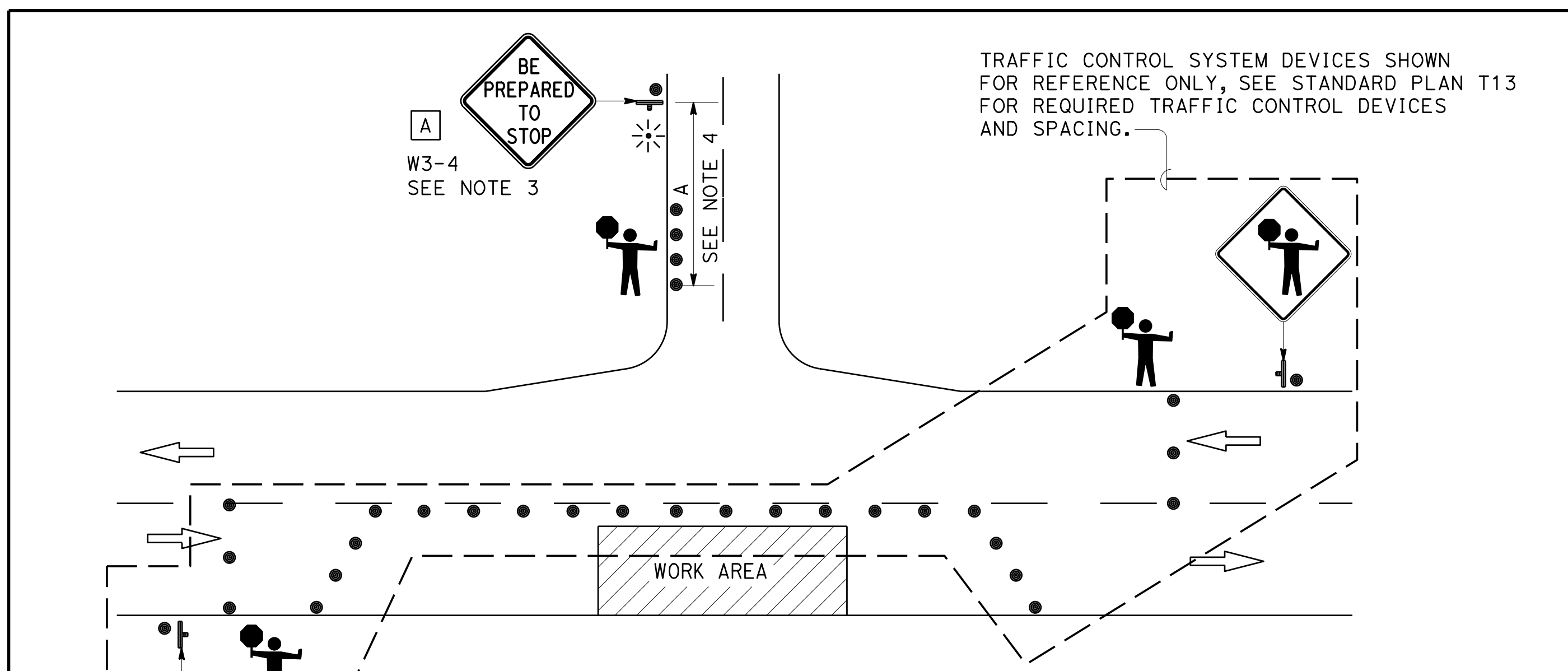
DRAWN BY: TCG

CHECKED BY: TCG

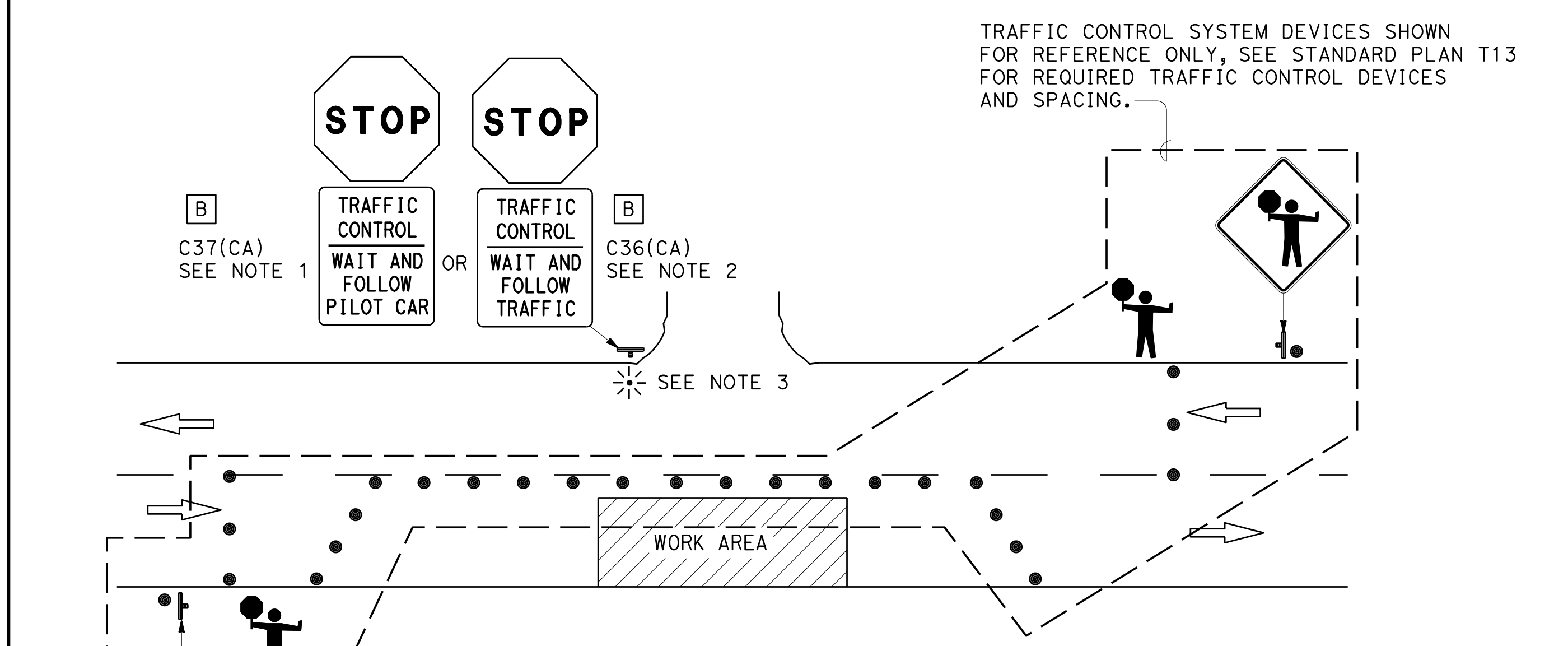
JOB No: 014-180-95-00

SHEET No:

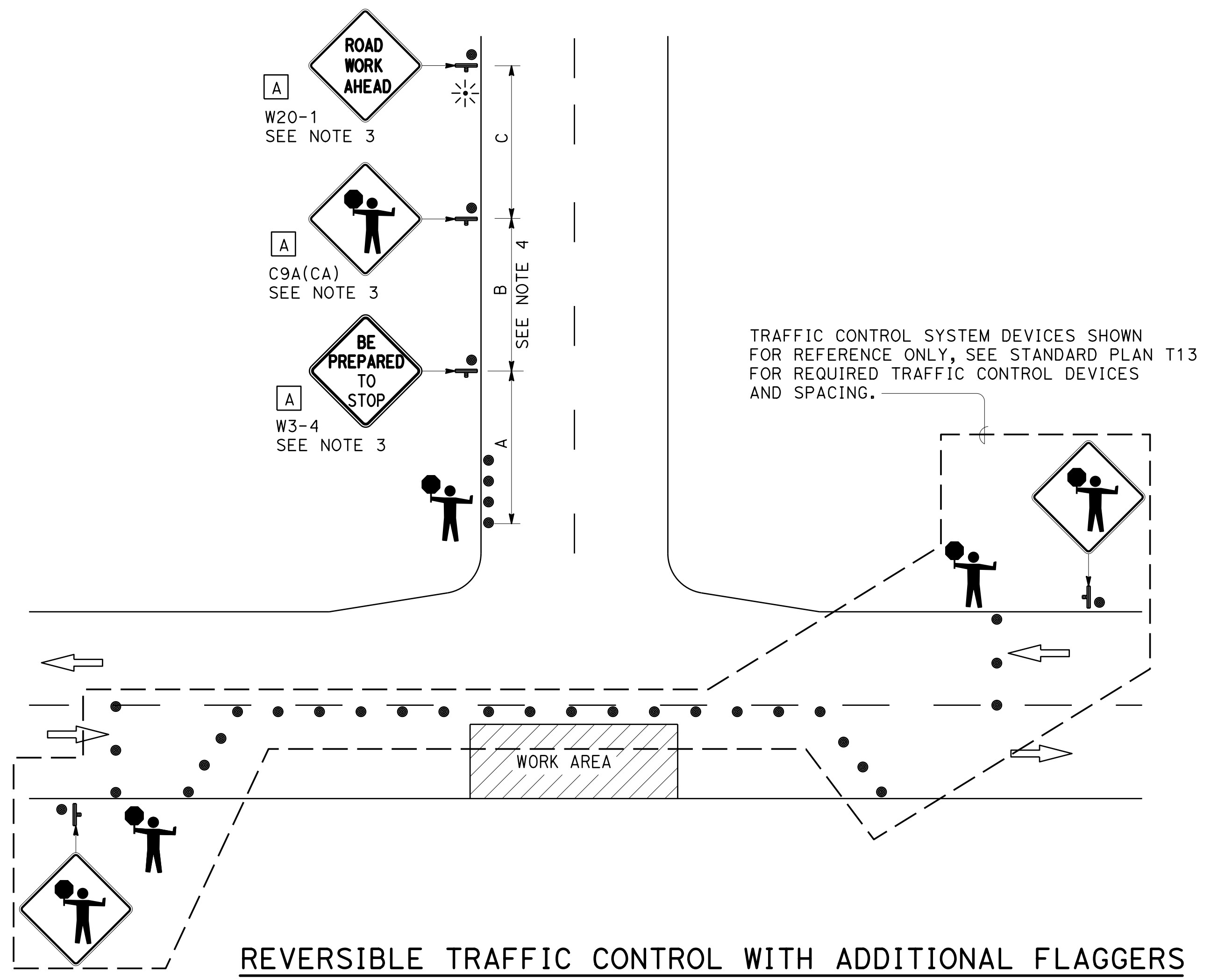
**EP.4**



**REVERSIBLE TRAFFIC CONTROL WITH ADDITIONAL FLAGGERS FOR SIDE ROADS AND BUSINESS DRIVEWAYS**



**REVERSIBLE TRAFFIC CONTROL WITH SIGNS FOR RESIDENTIAL DRIVEWAYS AND LOW VOLUME SIDE ROADS**



**REVERSIBLE TRAFFIC CONTROL WITH ADDITIONAL FLAGGERS AT HIGH VOLUME INTERSECTIONS**

**NOTES:**

- Place C37(CA) sign when pilot car is used.
- Place C36(CA) sign when pilot car is not used.
- Sign must be equipped with at least two flags for daytime closures. Flags must be orange in color and at least 16 inches by 16 inches in size. Place flashing beacons as shown for closures during hours of darkness.
- See Standard Plan T9, Table 3 for advance warning sign spacing.

**LEGEND:**

- TRAFFIC CONE
- TEMPORARY TRAFFIC CONTROL SIGN
- PORTABLE FLASHING BEACON
- FLAGGER

**SIGN PANEL SIZE (Min)**

- A** 48" x 48"
- B** 36" x 42"

STATE OF CALIFORNIA  
 DEPARTMENT OF TRANSPORTATION  
**TRAFFIC CONTROL SYSTEM**  
**TWO LANE CONVENTIONAL HIGHWAYS**  
 NO SCALE

**T13B**

[Return to Table of Contents](#)

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315

6-24-22

REVISIONS:	DATE:

**THOMAS GOCHA**  
 DESIGN  
 PLANNING  
 CONSULTING  
 PROJECT MANAGEMENT

**TCG**

A S S O C I A T E S  
 TRINITY COUNTY  
 PO BOX 578  
 HAYFORK, CA 96041  
 805.451.8491  
 tcg@gochadesign.net

VENTURA COUNTY  
 1072 CASHAS PASS ROAD  
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ENGINEER:  
 TRINITY VALLEY  
 CONSULTING ENGINEERS

2200 MAIN STREET  
 PEAVERTOWN CA 96093  
 530.629.3000

STAMP:

PROJECT:  
 PROPOSED SITE  
 DEVELOPMENT PLAN

TRINITY FLAVOR LLC  
 504 OATMAN ROAD  
 HAYFORK CA 96041  
 APN: 014-180-95-00

OWNER:  
 TRINITY FLAVOR LLC  
 2974 SORRENTO VALLEY BLVD  
 #010770  
 SAN DIEGO CA 92121-1410

PROJECT PHASE:  
 DEVELOPMENT PLAN  
 BLDG2022-00183  
 CCL-692

SHEET CONTENTS:  
 CALTRANS R/W MAP  
 02-TRI-3

DATE: JUNE 11 2023

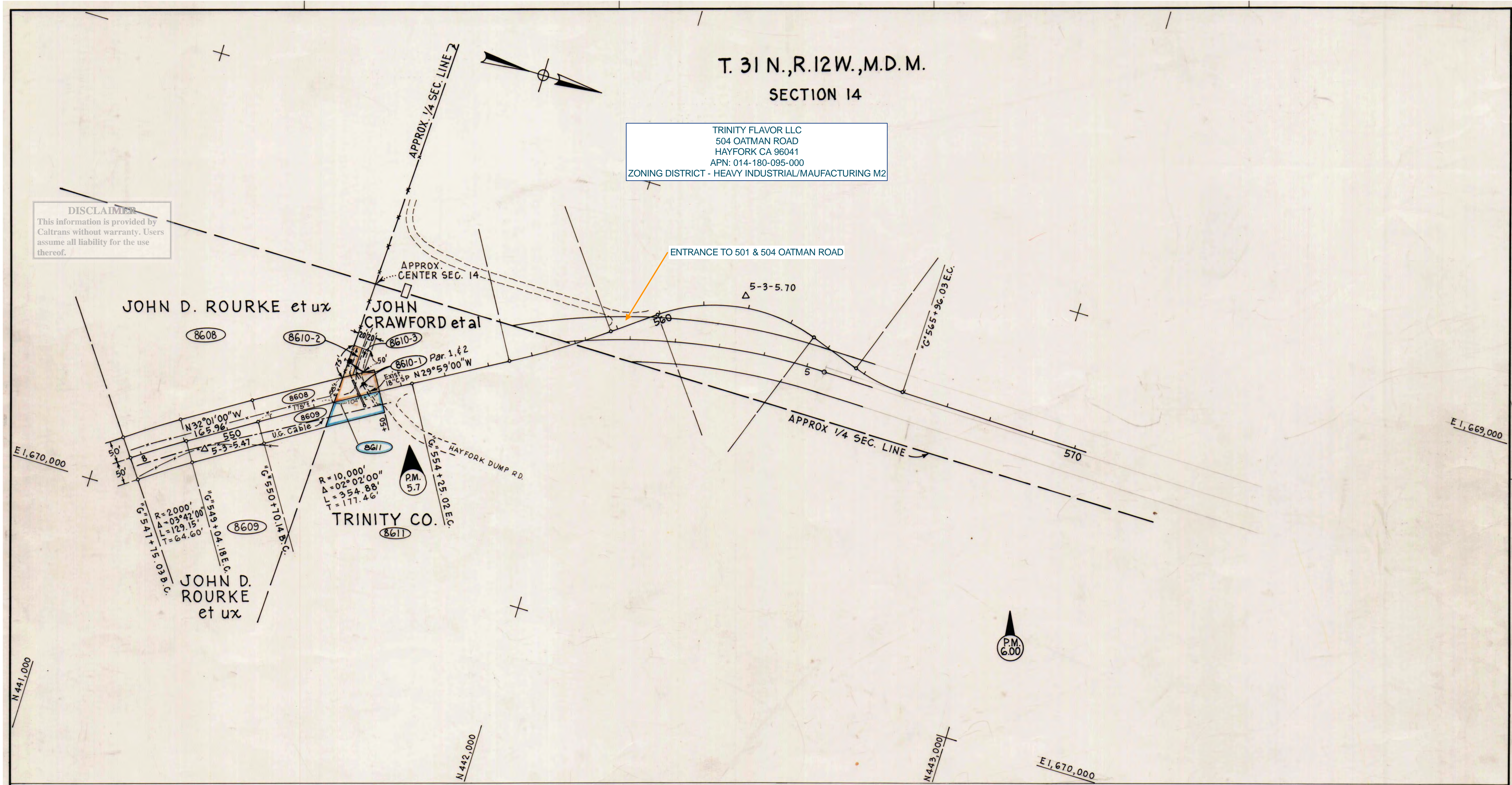
SCALE: AS SHOWN

DRAWN BY: TCG

CHECKED BY: TCG

JOB No: 014-180-95-00

SHEET No:



T. 31 N., R. 12 W., M. D. M.  
 SECTION 14

TRINITY FLAVOR LLC  
 504 OATMAN ROAD  
 HAYFORK CA 96041  
 APN: 014-180-95-000  
 ZONING DISTRICT - HEAVY INDUSTRIAL/MAUFACTURING M2

**DISCLAIMER**  
 This information is provided by Caltrans without warranty. Users assume all liability for the use thereof.

APPRAISAL PARCEL	GRANTOR OR GRANTEE	AREAS (1) (2) (3)	REMARKS	PARCEL FILE NO.	RECORDATION DATA	REMARKS
		TOTAL R W EXCESS REM.			DATE RECORD (4)	
8608	JOHN D. ROURKE et ux		For R/W See SHEET	8608		
8609	" " "		" " "	8609		
8610-1	JOHN CRAWFORD et al	2.00 Ac. 0.07 Ac.	EASE.	8610-1	12-18-87	272 O.R. p. 432 EASE. Deed-Par. 1 & 2
8610-2	" " "	0.03 Ac.	EXIST. PRESCRIPTIVE R/W			
8610-3	" " "		0.03 Ac. DRAIN EASE.			
8611	TRINITY CO.	154.00 Ac. 0.10 Ac.	EASE.	8611	11-23-87	271 OR. 909 EASE. DEED
			EXIST. PRESCRIPTIVE R/W			
			153.86 Ac.			

**LEGEND & NOTES**

(1) Area in acres except as noted.  
 (2) All acquired title fee except as noted.  
 (3) Excludes street area  
 (4) V-Volume R-Reel B-Book I-Instrument

M.R.R. Mineral Rights Reserved  
 R/W Line  
 Property Line  
 C.C.S. Zone  
 Grid Factor

DD Director's Deed Fee  
 DDE Director's Deed Ease  
 DK Dir. Deed Quitclaim Rel. Relinquishment  
 Abn Abandonment  
 JUA Joint Use Agreement  
 CCUA Consent to Common Use Agreement  
 S.E. Slope Easement  
 D.E. Drainage Easement  
 NTS Not to State  
 R.A.R. Relinquishment of Access Rights  
 R.E.C. Right to Enter and Const.

Access Denied |||||

SCALE IN FEET  
 0 100 200

STATE OF CALIFORNIA  
 BUSINESS AND TRANSPORTATION AGENCY  
 DEPARTMENT OF TRANSPORTATION

**R/W MAP**  
**02-TRI-3**

MAP NO. 206902.112

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ATTACHMENT D



Trinity County Division of Environmental Health  
P.O. Box 476 • 61 Airport RD • Weaverville, CA 96093

(530) 623-1459

Fees:  \$695.00 New  
 \$219.00 Repair  
Permit # SP 2022-008  
Receipt # EN202200048  
Date 03-03-2022

**Application for an Onsite Sewage Disposal System Permit:**

APN: 014-180-95-00  
Applicant's Name: TRINITY FLAVOR LLC  
Mailing Address: 3974 Sorrento Valley Blvd. #910770  
City: SAN DIEGO State: CA Zip: 92121-1410 Phone: 858.452.3202  
Physical Address: 504 OATMAN ROAD City: HAYFORK CA 96041  
Detailed Directions to site (required): OFF HWY 3 @ THE TRINITY COUNTY FAIR GROUNDS

Lot Size: \_\_\_\_\_ No. of Bedrooms: \_\_\_\_\_ No. Baths: \_\_\_\_\_ Water Source: \_\_\_\_\_

**Proposed Septic Meets Minimum Setback Requirements:**

Well/Spring 100'  
Stream/Creek high water mark 100'  
Wetlands/lakes/vernal pools/ponds high water mark 200'  
Unstable land mass 100'  
Property lines/structures 5'

\*Not allowed on slopes greater than 25%, in fill, or packed materials

**Detailed site map attached**

**Perc Tests attached**

**Contractor or Owner-Builder Form attached**

**Permit has been checked for errors and is signed**

**If conditions under which this permit was issued should change, including changes in surrounding parcels, making the placement or design of the system in violation of the local, state or federal regulations, this permit will become invalid. Any significant grading, cutting, or filling of soil, prior to final approval, may invalidate this permit. Insure equal distribution to each leach line. Install leach lines on the contour. This permit is good for 1 year from the approval date. If your permit expires it is your responsibility to get it renewed.**

**Signature:** [Signature] Contractor's Lic# 996408 Date: 02/04/2022  
(Property Owner or Licensed Contractor)

**Official Use Only**

Effective: 03/03/22 Expiration: 03/03/23  
Tank size required (minimum gallons):  750 gal.  1000 gal.  1200 gal.  1500 gal.  
Soil/Percolation Data: See attached engineering  
Leach Trench: Total Length: 441' Width: \_\_\_\_\_ Depth: \_\_\_\_\_ Minimum distance between lines: \_\_\_\_\_  
Leach gravel over: \_\_\_\_\_ Leach gravel under: \_\_\_\_\_  
Approved chamber system (make/model): \_\_\_\_\_

APPROVED BY: [Signature] DATE: 03/30/22

FINAL INSPECTION BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
Notes/As-Built information: \_\_\_\_\_

# Notice of Final Inspection

Environmental Health Department  
PO Box 476  
Weaverville, CA 96093  
(530) 623-1459

OWTS-2022-008

EH - OWTS PERMIT \$695

## PROJECT NAME: OWTS Permit

Date of Final Inspection:

Assessor's Parcel Number: 014-180-95-00

Physical Location: 504 Oatman Road, HFK

Applicant: Trinity Flavor, LLC

Applicant Mailing Address: 3974 Sorrento Valley Blvd., #910771 SAN DIEGO, CA 92121

Property Owner(s): Trinity Flavor, LLC

Property Owner(s) Mailing Address: 3974 Sorrento Valley blvd. Ste 910770 SAN DIEGO, CA 92121

Contractor:

## Technical Septic Information

Leach Field Size	432	Feet
Septic Width	36	Inches
Septic Depth	36	Inches
Distance Between Lines	10	Feet
Tank Size	1500	Gallons
Bedrooms	4	

Notes:

## Inspection Details

Inspection Date: 05/06/2022  
Inspection Description: Final Septic Inspection  
Inspector: Rikki Townzen  
Inspector Title: Environmental Health Specialist  
Inspection Comments: 21 infiltrators in each row, 5 total rows. plus end caps. 1500 gallon concrete tank.

Inspection Date: 03/16/2022  
Inspection Description: Initial Septic Inspection



05/23/22

**ATTACHMENT E**

Trinity Flavor LLC  
11300 Sorrento Valley Road,  
Suite 250, San Diego, CA. 92121  
858-625-0657

January 20, 2023.

**VIA EMAIL**

Michael Deutsch  
Managing Director, Trinity Flavor LLC.

**Re:                   504 Oatman Road Hayfork, CA 96041**  
**APN:014-180-095-000**

**WE ARE SENDING THE ATTACHED DOCUMENT(S):**

- 1) LETTER TO TRINITY SHERIFF DEPARTMENT

<u>XXX</u>	For deliver the document.
_____	For your review and documentation. We are requesting copies from the above reference file. See note below from information. Please call.
_____	Send back conformed copy in self-addressed and stamped envelope.
_____	For your files.
_____	For your review. Please make any necessary changes and return,
_____	For your immediate attention and action as noted.

**Note:**

**Trinity Flavor LLC**

Trinity Flavor LLC  
11300 Sorrento Valley Road,  
Suite 250, San Diego, CA. 92121  
858-625-0657

January 20, 2023

Tim Saxon, Sherriff  
101 MEMORIAL DRIVE  
P.O. BOX 1228  
WEAVERVILLE, CA 96093

**By mailing and fax to: Trinity Sheriff Department (530) 623-3926**

*Re: 504 Oatman Road Hayfork, CA 96041  
APN: 014-180-095-000*

Honorable Sheriff Tim Saxon,

Our company, Trinity Flavor LLC owns the property located at 504 Oatman Rd. Hayfork, CA 96041. The property is a 110-acre, Industrial Zoned Ranch in the city of Hayfork. The property fronts to and has access to Highway 3 to the west of the County Fairgrounds.

Over this past year, we have had ongoing issues with our neighbors, Kathleen Dudley and Brian and Wendy Young over a shared driveway and easement. The driveway and easement are on our property. William & Kathleen Dudley, are the owners of the adjacent property whose address is 501 Oatman Road - APN: 014-180-008-000. The access (driveway) to their property through an easement over our property. Wendy & Brian Young are related to Dudleys and all live on the same property.

Our property is currently unoccupied. We have employed a caretaker for the property, who has been harassed by Youngs so often that he quit. For the same reason we're unable to find a replacement

We are in the process of renovating the ranch house and as well as the two accessory buildings. We have building permits ready to issue from the Trinity County Department of Building & Safety but have had difficulty finding a contractor to do the work because of the ongoing issues with the neighbors. Furthermore, the neighbors have said that they will not allow workers to come and go freely. To be a good neighbor, we have even contracted some of the work to Brian Young whose family is harassing us, our

January 06, 2023  
Tim Saxon  
Sherriff  
Page 2

contractors and caretakers. At this point, we believe the situation is becoming dangerous.

On several occasions our workers have been obstructed for significant amount of time by the neighbor's physically blocking the driveway with their vehicles. Our contractors have constantly been harassed as they come and go from my property.

We plan to proceed with the development and renovations as soon as possible. We would like to request guidance from your department going forward. We plan to call the sheriff's department if and when we or the workers are detained and / or harassed next time.

Although, this is an unfortunate neighbors issue, we hope that the Sheriff's department will respond in timely manner to diffuse a potentially dangerous situation, with an aggressive neighbor.

Thank you for your attention and consideration on this matter.

Respectfully,

A handwritten signature in black ink, appearing to read "M. Deutsch", with a stylized flourish extending to the right.

Michael Deutsch  
Managing Director, Trinity Flavor LLC.





## MEMORANDUM

TO: Trinity County Planning Department

FROM: Thomas Gocha - TCG Associates

DATE: July 7 2023

RE: Trinity Flavor LLC CCL-692 - Appeal Response - P-23-10 - CALTRANS UPDATE

---

### Introduction

Trinity Flavor LLC (TFLLC)'s CCL application was submitted to the County Planning Department about three years ago and due to several issues the approval has been delayed until this year. The County issued a public notification of their intent to approve the TFLLC application, CCL-692, in March. Predictably the neighbors appealed on April 7 2023.

One of the components that we're working on is to upgrade the existing shared driveway approach by applying for a Caltrans Encroachment permit to resurface and improve the existing shared driveway approach.

### Analysis

#### Driveway & Access:

We have ongoing issues with the neighbors over the shared driveway. 501 & 504 Oatman Road share a private driveway that is reserved by a 25' wide ingress/egress easement on TFLLC's property. The right of way agreement was recorded April 10, 1962, in book 100, Page 424 (**See Attachment - A**). 501 Oatman has the right to use TFLLC's property to access their landlocked property.

#### Caltrans Encroachment Permit:

The neighbors primary complaint seems to be their claim that TFLLC does not have the right to use the driveway access off of highway 3 on TFLLC's property. Caltrans issues encroachment permits, much like the county, to ensure that private driveways and roads join the state highway according to their standards. The intent of the permit is to allow the work in the state's right of way to be secured, built in accordance with Caltrans standards and inspected, not to control who passes onto the private driveway or road.

In 2006 Brian Young filed a Caltrans encroachment permit application on behalf of the Dudley's, on property that they don't own which is now the TFLLC property. In communications with Caltrans they have indicated that that permit was incorrectly issued but they have no reason to pursue any type of change or compliance requirements for the existing conditions.

Nevertheless we have filed a Caltrans encroachment permit application to allow the existing driveway approach to be resurfaced and brought into compliance with the Caltrans standards. **(See Attachment - B).**

Our Caltrans encroachment application is under review and we had a meeting last Friday June 30th with the Caltrans engineer's and our engineer to review a design proposal that will meet the requirements for the encroachment permit to be issued to Trinity Flavor LLC, 504 Oatman Road, to improve and resurface the existing shared driveway approach. **(See Attachment - C).**

The current shared driveway is not in compliance with the current Caltrans Design Standards and will require a design deviation to be approved by Caltrans. Part of the requirements for Caltrans to consider a deviation is to submit a Design Standard Decision Document application for review and approval. **(See Attachment - D).**

One of the criteria required for this application was to include a road study of all of the geometry along this section of highway 3 and the review of recent collision data. **(See Attachment - E).**

Based on the existing road geometry, the Caltrans engineer's indicated that the speed through this section can likely be officially reduced to 40-45 mph which allows a slight reduction in the required stopping site distance. Along with the improvements that we are proposing to make to the shared driveway approach, Caltrans indicated that they will likely require that the brush along this section of the highway be maintained to maximize visibility as well.

### **Summary**

Based on the conference call between Caltrans and our engineer's Trinity Valley Consulting Engineers - TVCE last Friday, we believe we have a tentative agreement and once we have provided some additional information, Caltrans will likely issue our permit to improve the existing shared driveway. This application and permitting process should be completed within the next 30 days.

Please review our responses to the appeal and deny the appeal request and allow our CCL application approval by the Planning Department to prevail so that we can move forward as planned.

BOOK 100 PAGE 424

EASEMENT AND RIGHT OF WAY AGREEMENT

TRINITY FLAVOR LLC - 504 OATMEN ROAD  
APN: 014-180-95-00

TRINITY ALPS LUMBER CO., a California corporation,  
hereby grants to HARRISON B. OATMAN and NORENE T. OATMAN the  
DUDLEY - 501 OATMAN ROAD  
APN: 014-180-06-00  
perpetual free and unobstructed right, privilege and easement  
to enter into and upon, and to construct, maintain, use and  
operate, at the sole risk and expense of the said HARRISON B.  
OATMAN and NORENE T. OATMAN, a private road over and across,  
those certain lands situate in the County of Trinity, State  
of California, illustrated on the plat attached hereto and  
hereby made a part hereof, and particularly described as  
follows:

A strip of land of uniform width of 25 feet extending through the Southwest quarter of the Northwest quarter and the Southeast quarter of the Northwest quarter of Section 14, Township 31 North, Range 12 West, M. D. B. & M., beginning at a point on the southern boundary of, and 40 feet west of the eastern boundary of, the Southwest quarter of the Northwest quarter of Section 14; thence easterly along and north of the southern boundaries of the Southwest quarter of the Northwest quarter and the Southeast quarter of the Northwest quarter of Section 14, to the eastern boundary of the Southeast quarter of the Northwest quarter of Section 14; thence northerly along and west of the eastern border of the Southeast quarter of the Northwest quarter of Section 14 a distance of approximately 582 feet and terminating at State Highway 36; together with the rights, privileges, easements and franchises thereunto incident, appendant and appurtenant and therewith usually had and enjoyed, to have and to hold unto the said HARRISON B. OATMAN and NORENE T. OATMAN and their heirs, successors and assigns forever.

TRINITY ALPS LUMBER CO. reserves unto itself, its successors and assigns unrestricted access to and the perpetual free and unobstructed right at all times to use and to cross the aforesaid lands and road.

No timber shall be cut or destroyed on the aforesaid right of way except such as may be necessary in connection with the construction, maintenance, use and operation thereof. Any

merchantable timber cut shall be and remain the property of the person upon whose land the same is located.

HARRISON B. OATMAN and NORENE T. OATMAN shall indemnify and hold harmless TRINITY ALPS LUMBER CO., its successors and assigns, against and from any and all loss, damage and liability for damages, whether for damage to or loss of property, or injury to or death of person, which shall in any way arise out of or be connected with this easement and right of way agreement.

HARRISON B. OATMAN and NORENE T. OATMAN recognize the title of TRINITY ALPS LUMBER CO. to the aforesaid lands and agree never to assail or resist said title.

This easement and right of way agreement shall bind and inure to the benefit of the successors and assigns of TRINITY ALPS LUMBER CO. and the heirs, executors, administrators, successors and assigns of HARRISON B. OATMAN and NORENE T. OATMAN.

Date: January 22, 1962

31  
RECORDED AT THE REQUEST OF  
H. B. Oatman  
DATE JAN 7 1963  
AT 20 MIN. PAST 2 P. M.  
BOOK No. \_\_\_\_\_ OFFICIAL RECORDS  
PAGE \_\_\_\_\_ TRINITY COUNTY,  
CALIFORNIA. FEE \$ 3.60 pd.  
Maureen Keeshing RECORDER

TRINITY ALPS LUMBER CO.

By C. J. Gray, V.P.

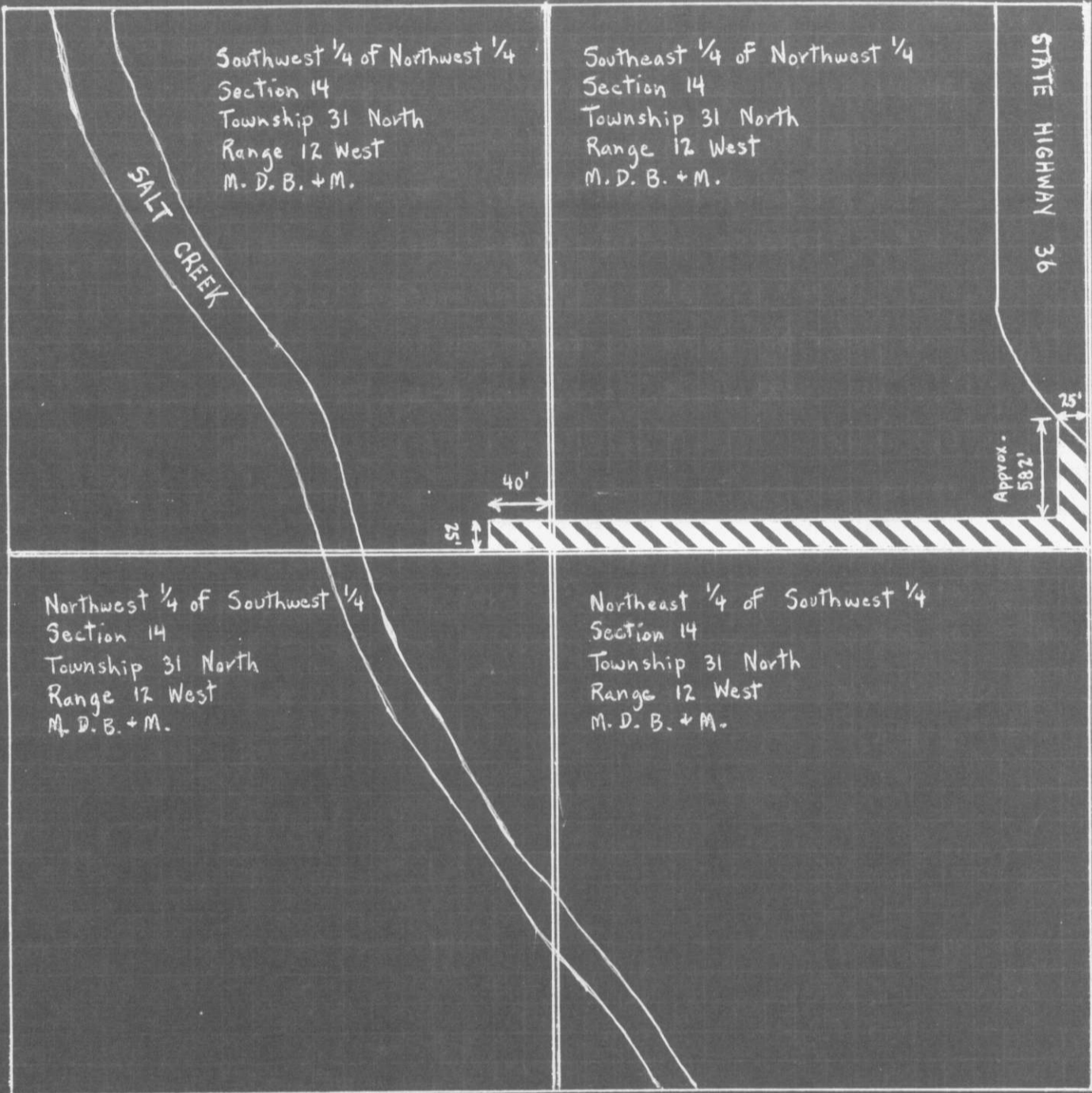
Harrison B. Oatman  
Harrison B. Oatman

Norene T. Oatman  
Norene T. Oatman

TRINITY COUNTY, CALIFORNIA

EASEMENT AND RIGHT OF WAY:

BOOK 100 PAGE 426



GRANTOR: Trinity Alps Lumber Co.

GRANTEES: Harrison B. Oatman, Noreen T. Oatman

DATE: January 22, 1962

# ATTACHMENT B

STATE OF CALIFORNIA • DEPARTMENT OF TRANSPORTATION  
**STANDARD ENCROACHMENT PERMIT APPLICATION**  
TR-0100 (REV 12/2018)

Complete ALL fields, write "N/A" if not applicable. Type or print clearly.  
This application is not complete until all requirements have been approved.

Permission is requested to encroach on the State Highway right-of-way as follows:

1. COUNTY TRINITY		2. ROUTE 3	3. POST MILE 560 SEE ATTACHED R/W MAP
4. ADDRESS OR STREET NAME 504 OATMAN ROAD		5. CITY HAYFORK CA 96041	
6. CROSS STREET (Distance and direction from project site) HAYFORK DUMP ROAD - ACROSS HIGHWAY 3			
7. WORK TO BE PERFORMED BY <input checked="" type="checkbox"/> APPLICANT <input type="checkbox"/> CONTRACTOR		8. IS THIS APPLICATION FOR THE CONTRACTOR'S (DOUBLE) PERMIT? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES. If "YES", provide the Parent Permit Number	
9. ESTIMATE START DATE AUGUST 1 2023		10. ESTIMATED COMPLETION DATE OCTOBER 1 2023	
11. ESTIMATED NUMBER OF WORKING DAYS WITHIN STATE HIGHWAY RIGHT-OF-WAY 5 DAYS			
12. ESTIMATED CONSTRUCTION COSTS WITHIN STATE HIGHWAY RIGHT-OF-WAY \$10,000			
13. HAS THE PROJECT BEEN REVIEWED BY ANOTHER CALTRANS BRANCH? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES. If "YES", which branch?			
14. FUNDING SOURCE(S) <input type="checkbox"/> FEDERAL <input type="checkbox"/> STATE <input type="checkbox"/> LOCAL <input checked="" type="checkbox"/> PRIVATE <input type="checkbox"/> SB 1 (ROAD REPAIR AND ACCOUNTABILITY ACT OF 2017)			
15. CALTRANS PROJECT CODE (ID)		16. APPLICANT'S REFERENCE / UTILITY WORK ORDER NUMBER	

FOR CALTRANS USE
TRACKING NO.
DIST/CO/RTE/PM
SIMPLEX STAMP
DATE OF SIMPLEX STAMP

17. DESCRIBE WORK TO BE DONE WITHIN STATE HIGHWAY RIGHT-OF-WAY  
Attach 6 complete sets of plans (folded to 8.5" x 11") and any applicable specifications, calculations, maps, traffic control plans, etc.  
PROPOSED WORK INCLUDES FILING AN ENCROACHMENT PERMIT APPLICATION UNDER THE CURRENT PROPERTY OWNERS NAME FOR THE DRIVEWAY APPROACH ON THEIR PROPERTY. PREVIOUS ENCROACHMENT PERMIT WAS ISSUED TO AN ADJOINING PROPERTY OWNER'S REPRESENTATIVE. THE WORK TO BE PERFORMED UNDER THIS PERMIT IS TO RESURFACE THE EXISTING DRIVEWAY APPROACH AND IMPROVE THE EXISTING TRANSITION FROM HIGHWAY 3 INTO THE PRIVATE DRIVEWAY PER STANDARD DETAIL "RC-D". SEE ATTACHED ENGINEERED PLANS.

18 (a). PORTION OF STATE HIGHWAY RIGHT-OF-WAY WHERE WORK IS BEING PROPOSED (check all that apply)

Traffic lane  Shoulder  Sidewalk  Median  At or near an intersection  Mobile work

Outside of the shoulder, \_\_\_\_\_ feet from edge of pavement  Other PROJECT INCLUDES RESURFACING THE E. DRIVEWAY TO THE E. EDGE OF PAVEMENT.

18 (b). PROPOSED TRAFFIC CONTROL PLANS AND METHOD

No traffic control needed  State Standard Plans (T-Sheets) # T13A & T13B - SEE ATTACHED

Project specific Traffic Control Plans included  To be submitted by contractor

19. N/A EXCAVATION	MAX. DEPTH (in) N/A	MIN. DEPTH (in) N/A	AVG. WIDTH (in) N/A	LENGTH (ft) N/A	SURFACE TYPE (e.g. Asphalt, concrete, soil, etc.) N/A
20. N/A PIPES	PRODUCT BEING TRANSPORTED N/A	CARRIER PIPE DIAMETER N/A (in.) MATERIAL N/A	CASING PIPE DIAMETER N/A (in.) MATERIAL N/A		
PROPOSED INSTALLATION METHOD (e.g. HDD, Bore & Jack, Open Cut, etc.) N/A					VOLTAGE / PSIG N/A

DOES THE PROPOSED PROJECT INVOLVE THE REPLACEMENT AND/OR ABANDONMENT OF AN EXISTING FACILITY?  
 NO  YES. If "YES", provide a description

21. IS A CITY, COUNTY OR OTHER PUBLIC AGENCY INVOLVED IN THE APPROVAL OF THIS PROJECT?

YES (if "YES", check the type of project AND attach the environmental documentation and conditions of approval)

COMMERCIAL DEVELOPMENT  BUILDING  GRADING  OTHER \_\_\_\_\_

CATEGORICALLY EXEMPT  NEGATIVE DECLARATION  ENVIRONMENTAL IMPACT REPORT  OTHER \_\_\_\_\_

NO (if "NO", check the category below which best describes the project AND answer questions A-K on page 2)

DRIVEWAY OR ROAD APPROACH, RECONSTRUCTION, MAINTENANCE OR RESURFACING  FENCE  EROSION CONTROL

PUBLIC UTILITY MODIFICATION, EXTENSIONS, HOOKUPS  MAILBOX  LANDSCAPING

FLAGS, SIGNS, BANNERS, DECORATIONS, PARADES AND CELEBRATIONS  OTHER \_\_\_\_\_

**ADA Notice** For individuals with sensory disabilities, this document is available in alternate formats. For alternate format information, contact the Forms Management Unit at (916) 445-1233, TTY 711, or write to Records and Forms Management, 1120 N Street, MS-89, Sacramento, CA 95814.

TRACKING NO. \_\_\_\_\_

**The following questions must be answered when a City, County or other public agency IS NOT involved in the approval of this project.**

Your answers to these questions will assist Caltrans staff in identifying any physical, biological, social or economic resources that may be affected by your proposed project within State Highway right-of-way and to determine which type of environmental studies may be required to approve your application for an encroachment permit. It is the applicant's responsibility for the production of all required environmental documentation and supporting studies and in some cases this may be costly and time consuming. If possible, attach photographs of the location of the proposed project. Answer these questions to the best of your ability. Provide a description of any "YES" answers (type, name, number, etc.).

- A. Will any existing vegetation and/or landscaping within State Highway right-of-way be disturbed?  
NO
- B. Are there waterways (e.g. river, creek, pond, natural pool or dry streambed) adjacent to or within the limits of the proposed project?  
NO
- C. Is the proposed project located within five miles of the coast line?  
NO
- D. Will the proposed project generate construction noise levels greater than 86 decibels (dBA) (e.g. Jack-hammering, pile driving)?  
NO
- E. Will the proposed project incorporate land from a public park, recreation area or wildlife refuge open to the public?  
NO
- F. Are there any recreational trails or paths within the limits of the proposed project?  
NO
- G. Will the proposed project impact any structures, buildings, rail lines or bridges within State Highway right-of-way?  
NO
- H. Will the proposed project impact access to any businesses or residences?  
NO
- I. Will the proposed project impact any existing public utilities or public services?  
NO
- J. Will the proposed project impact any existing pedestrian facilities, such as sidewalks, crosswalks or overcrossings?  
NO
- K. Will new lighting be constructed within or adjacent to State Highway right-of-way?  
NO

22. Will the proposed project cause a substantial change in the significance of a historical resource (45 years or older), or cultural resource?  YES  NO (if "YES", provide a description)

23. Will the proposed project be on an existing State Highway or street where the activity involves removal of a scenic resource? (e.g. A significant tree or stand of trees, a rock outcropping or a historic building)  YES  NO (if "YES", provide a description)

24. Is work being done on the applicant's property in addition to State Highway right-of-way?  YES  NO  
SEE ATTACHED PLANS (If "YES", attach 6 complete sets of site and grading plans)

25. Will the proposed project require the disturbance of soil?  YES  NO  
If "YES", estimate the area of disturbed soil within State Highway right-of-way in acres: \_\_\_\_\_  
and estimate the area of disturbed soil outside State Highway right-of-way in acres: \_\_\_\_\_

26. Will the proposed project require dewatering?  YES  NO  
If "YES", estimate Total gallons AND gallons/month. \_\_\_\_\_ (Total gallons) AND \_\_\_\_\_ (gallons/month)  
SOURCE\*:  STORMWATER  NON-STORMWATER  
(\*See Caltrans SWMP for definition of non-storm water discharge: <http://www.dot.ca.gov/env/stormwater/>)

27. How will any storm water or ground water be disposed?  
 Storm Drain System  Combined Sewer / Stormwater System  Stormwater Retention Basin  N/A  
 Other (explain) \_\_\_\_\_

TRACKING NO.

**READ THE FOLLOWING CLAUSES PRIOR TO SIGNING THIS ENCROACHMENT PERMIT APPLICATION.**

The applicant's submission of this application to the California Department of Transportation constitutes the applicant's agreement and representation that the work or other activity contemplated by the encroachment permit application shall comply with all applicable standards, specifications, policies, requirements, conditions, and regulations of the California Department of Transportation, and the applicant understands the application may be denied if there is non-compliance with any of the above. An exception process exists and may result in approval of a non-compliant encroachment, in the discretion of the California Department of Transportation, but the exception process may require additional time to complete. The applicant understands and agrees all work or other activity contemplated by the encroachment permit application is subject to inspection and oversight by the California Department of Transportation. The applicant understands and agrees encroachment permit fees must still be paid if an application is withdrawn or denied. The applicant understands a denial may be appealed, in accordance with California Streets and Highways Code, Section 671.5, and the related regulations found in California Code of Regulations, Title 21, Division 2, Chapter 8, Article 2.

The applicant understands and agrees that immediately upon issuance of the encroachment permit the applicant is bound by, subject to, and must comply with the "Encroachment Permit General Provisions" (TR-0045), "Stormwater Special Provisions" (TR-0400) and any other applicable Special Provisions and Conditions of the encroachment permit. The "Encroachment Permit General Provisions" (TR-0045), and the Stormwater Special Provisions (TR-0400) are available at: [http://www.dot.ca.gov/trafficops/ep/docs/Appendix\\_K\\_\(WEB\).pdf](http://www.dot.ca.gov/trafficops/ep/docs/Appendix_K_(WEB).pdf). If a paper copy is needed of the "Encroachment Permit General Provisions" (TR-0045) and/or "Stormwater Special Provisions" (TR-0400), please contact the District Office of Encroachment Permits. Their contact information is available at: [http://www.dot.ca.gov/trafficops/ep/docs/Appendix\\_G\\_\(WEB\).pdf](http://www.dot.ca.gov/trafficops/ep/docs/Appendix_G_(WEB).pdf). The "Encroachment Permit General Provisions" (TR-0045) and any other applicable Special Provisions and Conditions will be provided as part of the encroachment permit. Information about Stormwater requirements is available at the Internet address: <http://www.dot.ca.gov/hq/construc/stormwater/>.

The applicant understands an encroachment permit may be denied, revoked, and/or a bond may be required, for non-payment of prior or present encroachment permit fees. An encroachment permit is not a property right and does not transfer with the property to a new owner. Each of the persons purporting to execute this application on behalf of the applicant and/or on behalf of the applicant's authorized agent or engineer represents and warrants such person has full and complete legal authority to do so and to thereby bind applicant to the terms and conditions herein and to the terms and/or conditions of the encroachment permit. Applicant understands and agrees this application may be executed in one or more counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same instrument. Executed copies of this application and/or its counterparts may be reproduced and/or exchanged by copy machine, mailing, facsimile, or electronic means (such as e-mail), and such copies shall be deemed to be effective as originals.

28. NAME OF APPLICANT (Project or Property Owner or Organization)  
 TRINITY FLAVOR LLC

ADDRESS OF APPLICANT (Include City, State and Zip Code)  
 3974 SORRENTO VALLEY BLVD. #910770 SAN DIEGO CA 92121-1410

E-MAIL ADDRESS mikedeu10@gmail.com	PHONE NUMBER 858.452.3202 ext. #4	FAX NUMBER
---------------------------------------	--------------------------------------	------------

29. NAME OF AUTHORIZED AGENT / ENGINEER  
 (A "Letter of Authorization" is required if different from #28)  
 THOMAS GOCHA - TCG ASSOCIATES

IS A LETTER OF AUTHORIZATION ATTACHED?  
 YES  NO

ADDRESS OF AUTHORIZED AGENT / ENGINEER (Include City, State and Zip Code)  
 PO BOX 578 HAYFORK CA 96041


E-MAIL ADDRESS tcg@gochadesign.net	PHONE NUMBER 805.451.8491	FAX NUMBER
---------------------------------------	------------------------------	------------

30. NAME OF BILLING CONTACT (Same as #28  Same as #29 )

BILLING ADDRESS WHERE INVOICE(S) IS / ARE TO BE MAILED (Include City, State and Zip Code)  
 3974 SORRENTO VALLEY BLVD. #910770 SAN DIEGO CA 92121-1410

E-MAIL ADDRESS mikedeu10@gmail.com	PHONE NUMBER 858.452.3202 ext. #4	FAX NUMBER
---------------------------------------	--------------------------------------	------------

\* I hereby certify under penalty of perjury under the laws of the State of California that the information in this application and any document submitted with or in support of this application are true and correct to the best of my knowledge and belief, and that copies of any documents submitted with or in support of this application are true and correct copies of unaltered original documents. I further understand that if I have provided information that is false, intentionally incomplete, or misleading I may be charged with a crime and subjected to fine or imprisonment, or both fine and imprisonment. (Penal Code Section 72)

31. SIGNATURE OF APPLICANT OR AUTHORIZED AGENT* 	32. PRINT OR TYPE NAME THOMAS GOCHA - TCG ASSOCIATES
--	---

33. TITLE AGENT	34. DATE JUNE 11 2023
--------------------	--------------------------



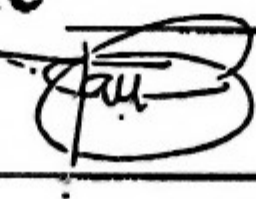
DEPARTMENT OF TRANSPORTATION  
OFFICE OF ENCROACHMENT PERMITS  
1657 RIVERSIDE DRIVE  
REDDING, CA 96001-0536  
PHONE (530) 225-3400  
FAX (530) 225-3097  
TTY (530) 225-2019



Making Conservation a  
California Way of Life.

**Agent's Authorization Form**  
**(Required only if Applicant is other than the property owner)**

I, the undersigned, state that I am (one of) the owner(s) of the proposed \_\_\_\_\_  
DRIVEWAY RESURFACING & ENCROACHMENT PERMIT

(County TRINITY Route 3 Postmile 560 ). I do hereby authorize and  
empower THOMAS GOCHA - TCG ASSOCIATES 

to act on my behalf on all matters relating to said project in connection with its filing, processing,  
approval, conditional approval or disapproval by the State of California, Department of  
Transportation (Caltrans), officers and employees.

Should I revoke this authorization it is my responsibility to serve written notice of said revocation  
to Caltrans by delivery to the Encroachment Permits Office.

MICHAEL DEUTSCH - TRINITY FLAVOR LLC

Owner (Print)



Signature

3974 SORRENTO VALLEY BLVD #910770  
SAN DIEGO CA 92121

Address

858.452.3202

Phone

JUNE 11 2023

Date

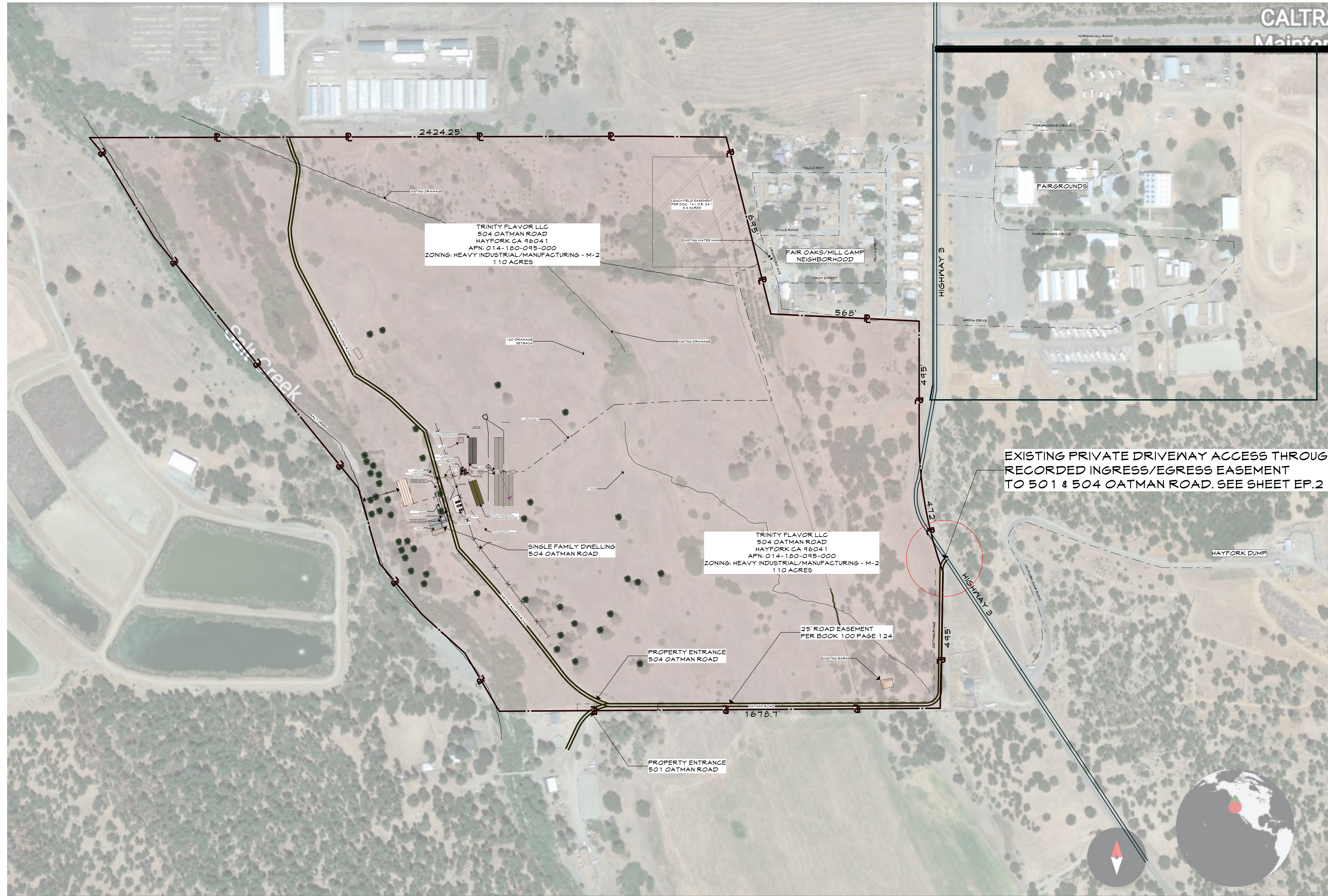
Owner (Print)

Signature

Address

Phone

Date



**1 SITE PLAN**  
SCALE: 1" = 200'

NOTE: ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE. REPORT ALL DISCREPANCIES IN WRITING TO TCG ASSOCIATES LLC FOR CLARIFICATION. DRAWINGS, IMAGES AND DESIGNS ON THIS PAGE OF PLANS ARE THE PROPERTY OF TCG ASSOCIATES LLC AND SHALL NOT BE REVISED, PRINTED OR COPIED WITHOUT PRIOR WRITTEN PERMISSION.

- SHEET INDEX:**
- EP. 1 SITE PLAN WITH OVERLAY
  - EP. 2 CALTRANS ROW MAP - 02-TRI-3
  - EP. 3 DRIVEWAY SURFACING PLAN
  - EP. 4 ROAD GEOMETRY
  - EP. 5 ROAD GEOMETRY
  - EP. 6 ROAD GEOMETRY
  - EP. 7 ROAD GEOMETRY
  - EP. 8 ROAD GEOMETRY
  - EP. 9 TRAFFIC CONTROL PLAN - T 13A
  - EP. 10 TRAFFIC CONTROL PLAN - T 13B

Parcel 014-180-095-000  
 Street Address: 504 Oatman Rd  
 City, State, ZIP: Hayfork, CA 96041  
 Lot Acres: 110.10  
 Zoning District: Heavy Industrial/Manufacturing (M2)  
 General Plan Designation: Industrial (I)  
 Affected by FEMA 2016 Flood Zone: Yes  
 Supervisorial District: 5  
 Current Supervisor: Dan Frasier  
 School District: Mountain Valley Unified School District  
 Fire Protection: Hayfork Fire Protection District  
 Water Services: Trinity County Waterworks District No. 1  
 Sewer Services: Trinity County Waterworks District No. 1  
 Electricity: Trinity Public Utilities District

REVISIONS:	DATE:

**THOMAS GOCHA**  
 DESIGN  
 PLANNING  
 CONSULTING  
 PROJECT MANAGEMENT

**TCG ASSOCIATES LLC**

TRINITY COUNTY  
 PO BOX 578  
 HAYFORK, CA 96041  
 805.451.8441  
 tcggochadesign.net

VENTURA COUNTY  
 1072 CASITAS PASS ROAD  
 CARPINTERIA, CA 93013  
 805.451.8441  
 tcggochadesign.net

www.gochadesign.net

**ENGINEER:**  
 TRINITY VALLEY  
 CONSULTING ENGINEERS

2200 MAIN STREET  
 WEAVERVILLE CA 96093  
 530.629.3000

**STAMP:**  
 ATTACHMENT C

**PROJECT:**  
 PROPOSED SITE  
 DEVELOPMENT PLAN

TRINITY FLAVOR LLC  
 504 OATMAN ROAD  
 HAYFORK CA 96041  
 APN: 014-180-95-00

**OWNER:**  
 TRINITY FLAVOR LLC  
 3974 SORRENTO VALLEY BLVD  
 #910770  
 SAN DIEGO CA 92121-1410

**PROJECT PHASE:**  
 DEVELOPMENT PLAN  
 BLDG2022-00183  
 CCL-692

**SHEET CONTENTS:**  
 SITE PLAN OVERLAY

tcg associates llc ©

**DATE:** JUNE 11 2023

**SCALE:** AS SHOWN

**DRAWN BY:** TCG

**CHECKED BY:** TCG

**JOB No:** 014-180-95-00

**SHEET No:**  
**EP. 1**

REVISIONS:	DATE:

**TCG ASSOCIATES LLC**

THOMAS GOCHA  
DESIGN  
PLANNING  
CONSULTING  
PROJECT MANAGEMENT

TRINITY COUNTY  
PO BOX 578  
HAYFORK CA 96041  
805.45.1841  
tcggochadesign.net

VENTURA COUNTY  
SANTA BARBARA COUNTY  
1072 CASITAS PASS ROAD  
CARPINTERIA, CA 93013  
805.45.1841  
tcggochadesign.net

www.gochadesign.net

ENGINEER:  
TRINITY VALLEY  
CONSULTING ENGINEERS

2200 MAIN STREET  
WEAVERVILLE CA 96093  
530.629.3000

STAMP:

PROJECT:  
PROPOSED SITE  
DEVELOPMENT PLAN

TRINITY FLAVOR LLC  
504 OATMAN ROAD  
HAYFORK CA 96041  
APN: 014-180-95-00

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#910770  
SAN DIEGO CA 92121-1410

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DEVELOPMENT PLAN  
BLDG2022-00183  
CCL-692

SHEET CONTENTS:  
CALTRANS R/W MAP  
02-TRI-3

DATE: JUNE 11 2023

SCALE: AS SHOWN

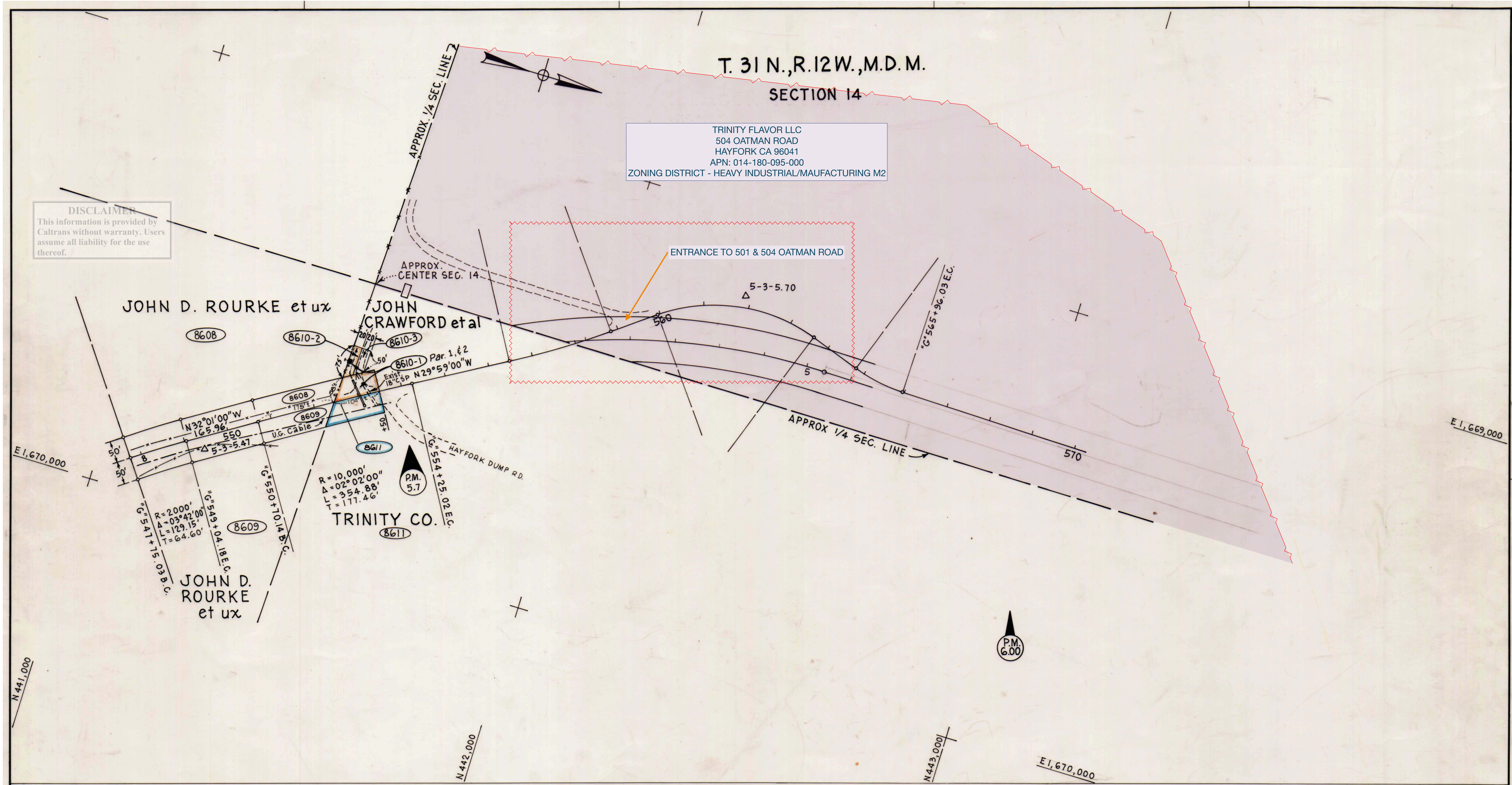
DRAWN BY: TCG

CHECKED BY: TCG

JOB NO: 014-180-95-00

SHEET NO:

EP.2



**DISCLAIMER**  
This information is provided by Caltrans without warranty. Users assume all liability for the use thereof.

TRINITY FLAVOR LLC  
504 OATMAN ROAD  
HAYFORK CA 96041  
APN: 014-180-95-000  
ZONING DISTRICT - HEAVY INDUSTRIAL/MAUFACTURING M2

APPRAISAL PARCEL	GRANTOR OR GRANTEE	AREAS (1) (2) (3)	REMARKS	PARCEL FILE NO.	RECORDATION DATA	REMARKS
		TOTAL R W EXCESS REM.			DATE RECORD (4)	
8608	JOHN D. ROURKE et ux		For R/W - SEE SHEET	8608		
8609	" " "		" " "	8609		
8610-1	JOHN CRAWFORD et al	2.00 Ac. 0.07 Ac.	EASE.	8610-1	12-18-87	272 O.R. p. 432 EASE. Deed-Par. 1 & 2
8610-2	" " "	0.03 Ac.	EXIST. PRESCRIPTIVE R/W			
8610-3	" " "		0.03 Ac. DRAIN EASE.			
8611	TRINITY CO.	154.00 Ac. 0.10 Ac.	EASE.	8611	11-23-87	271 OR. 909 EASE. DEED
	" " "		EXIST. PRESCRIPTIVE R/W			
						153.86 Ac.

**LEGEND & NOTES**

(1) Area in acres except as noted.  
(2) All acquired title fee except as noted.  
(3) Excludes street area  
(4) V-Volume B-Book R-Reel I-Instrument

M.R.R. Mineral Rights Reserved  
R/W Line  
Property Line  
C.C.S. Zone  
Grid Factor

DD Director's Deed Fee  
DDE Director's Deed Ease  
DK Dir. Deed Quitclaim  
Rel. Relinquishment  
Abn Abandonment  
JUA Joint Use Agreement  
CCUA Consent to Common Use Agreement  
S.E. Slope Easement  
D.E. Drainage Easement  
NTS Not to State  
R.A.R. Relinquishment of Access Rights  
R.E.C. Right to Enter and Const.

Access Denied

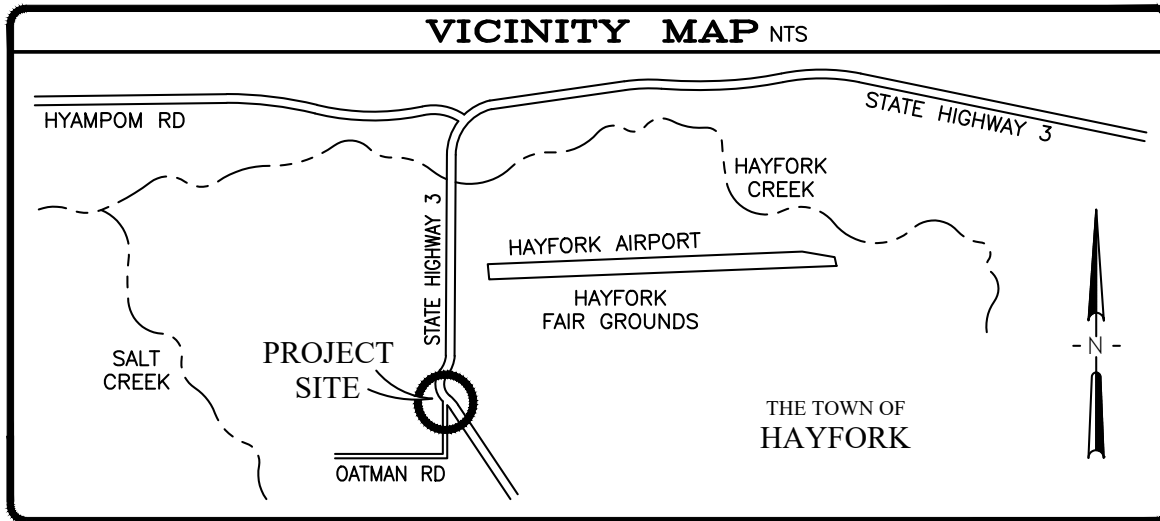
SCALE IN FEET  
0 100 200

STATE OF CALIFORNIA  
BUSINESS AND TRANSPORTATION AGENCY  
DEPARTMENT OF TRANSPORTATION

**R/W MAP**  
02-TRI-3

MAP NO. 206902.112

NOTE: ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE. REPORT ALL DISCREPANCIES IN WRITING TO TCG ASSOCIATES LLC FOR CLARIFICATION. DRAWINGS, IMAGES AND DESIGNS ON THIS PAGE OF PLANS ARE THE PROPERTY OF TCG ASSOCIATES LLC AND SHALL NOT BE REVISED, PRINTED OR COPIED WITHOUT PRIOR WRITTEN PERMISSION.



**SURVEY LEGEND**

—○—○—○	EXISTING FENCE LINE
—SD—	EXISTING CULVERT
—OH—	EXISTING OVERHEAD UTILITY
—C—	EXISTING UNDERGROUND FIBER OPTIC
- - - - -	EXISTING MINOR CONTOUR 1' INTERVAL
- - - - -	EXISTING MAJOR CONTOUR 5' INTERVAL
—	EXISTING DIRT ROADWAY
—	EXISTING ASPHALT PAVEMENT
⊕	EXISTING UTILITY POLE
⊔	EXISTING GATE

**CONTRACTOR ALERT!**

CONTRACTOR MUST CONTACT USA DIG AT 800-227-2600 AT LEAST 72 HOURS BEFORE ANY EARTHWORK OR ACTIVITIES THAT MAY IMPACT EXISTING UNDERGROUND UTILITIES.

EXISTING UTILITY ALIGNMENTS BOTH HORIZONTALLY AND VERTICALLY MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION ACTIVITIES.

**AGGREGATE BASE ROCK NOTES:**

1. AGGREGATE BASE SHALL BE CALTRANS CLASS II.
2. AGGREGATE BASE SHALL BE INSTALLED PER SECTION 26 OF THE CALTRANS STANDARD SPECIFICATIONS.
3. AGGREGATE BASE SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION PER CT 231.

**ASPHALT CONCRETE NOTES:**

1. ASPHALT CONCRETE SHALL BE 1/2" MAXIMUM RADIUS HOT MIX TYPE A. CONTRACTOR TO SUBMIT MIX DESIGN FOR APPROVAL.
2. ASPHALT CONCRETE SHALL BE INSTALLED IN STRICT ACCORDANCE WITH SECTION 39 OF THE CALTRANS STANDARD SPECIFICATIONS.
3. ASPHALT CONCRETE SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION AS VERIFIED PER CAL 216.
4. EXISTING AC SURFACES SHALL BE CUT TO A NEAT STRAIGHT LINE PARALLEL WITH THE CENTERLINE AND THE EXPOSED EDGE SHALL BE TACKED WITH EMULSION PRIOR TO PAVING. THE EXPOSED BASE MATERIAL SHALL BE GRADED, RE-COMPACTED, AND RESEALED PRIOR TO PAVING.

**QUANTITIES:**

1. QUANTITIES AND LENGTHS OF ITEMS PROVIDED WITHIN THIS PLAN SET ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ACTUAL QUANTITIES OF COMPONENTS REQUIRED FOR THE SUCCESSFUL AND SATISFACTORY COMPLETION OF THE PROJECT.

**DUST CONTROL NOTES:**

1. THE CONTRACTOR SHALL IMPLEMENT ONE OR BOTH OF THE FOLLOWING MEASURES FOR DUST CONTROL ON THIS SITE:
  1. SPRAYING OF WATER SO AS NOT TO GENERATE ADDITIONAL RUNOFF. NO DUST PALLIATIVE MATERIALS OTHER THAN WATER WILL BE USED ON THIS PROJECT. IF NON-POTABLE WATER IS TO BE USED, IT MUST BE CONVEYED IN TANKS OR PIPES CLEARLY LABELED AS "NON-POTABLE WATER - DO NOT DRINK".
  2. COVERS FOR EXPOSED AREAS.

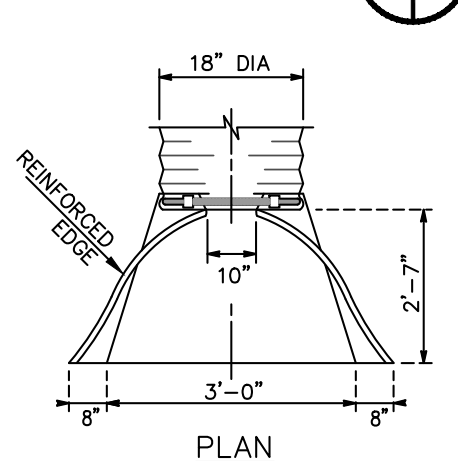
**GENERAL NOTES:**

1. DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN IN THESE DRAWINGS SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPLICABLE CONTRACT SPECIFICATIONS.
2. THE CONTRACTOR SHALL PROVIDE ALL UTILITIES AS NECESSARY TO SUCCESSFULLY COMPLETE ALL CONSTRUCTION ACTIVITIES.
3. ALL EXISTING AND PROPOSED DIMENSIONS DEPICTED HEREIN SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO STARTING WORK.
4. THE CONTRACTOR SHALL POSSESS THE CLASS, OR CLASSES, OF LICENSE AS SPECIFIED IN THE NOTICE TO CONTRACTORS.

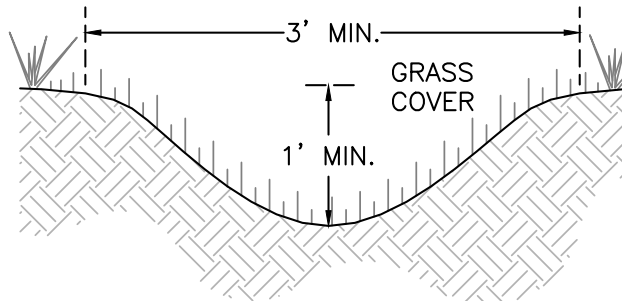
**TRAFFIC CONTROL NOTES:**

1. WHENEVER THE WORK AREA IS ADJACENT TO A TRAFFIC LANE AND THERE IS A CUT, DITCH OR TRENCH MORE THAN TWO INCHES DEEP, THE CONTRACTOR SHALL MAINTAIN CONTINUOUS BARRICADES SPACED AT APPROXIMATELY 20-FOOT INTERVALS FOR THE FIRST 100 FEET FROM THE BEGINNING OF THE CUT, DITCH OR TRENCH, AND AT APPROXIMATELY 50-FOOT INTERVALS THEREAFTER. IF THE CUT, DITCH OR TRENCH IS MORE THAN TEN FEET FROM A TRAFFIC LANE, THE BARRICADED SPACING MAY BE GREATER BUT SHALL NOT EXCEED 200 FEET.
2. UNLESS SPECIFICALLY SET FORTH AS SPECIAL PROVISIONS, ALL MARKED LANES OF TRAFFIC SHALL BE UNOBSERVED IN EACH DIRECTION DURING THE PEAK TRAFFIC HOURS OF 7:00 TO 8:30AM AND 3:30 TO 6:00 PM.
3. SAFE VEHICULAR AND PEDESTRIAN ACCESS SHALL BE PROVIDED AT ALL TIMES DURING CONSTRUCTION.
4. TRACK MOUNTED VEHICLES SHALL NOT BE OPERATED ON PAVED ROADS.

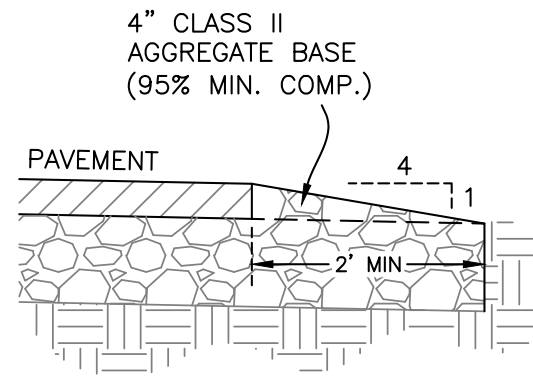
**CULVERT END SECTION DETAIL**  
NOT TO SCALE



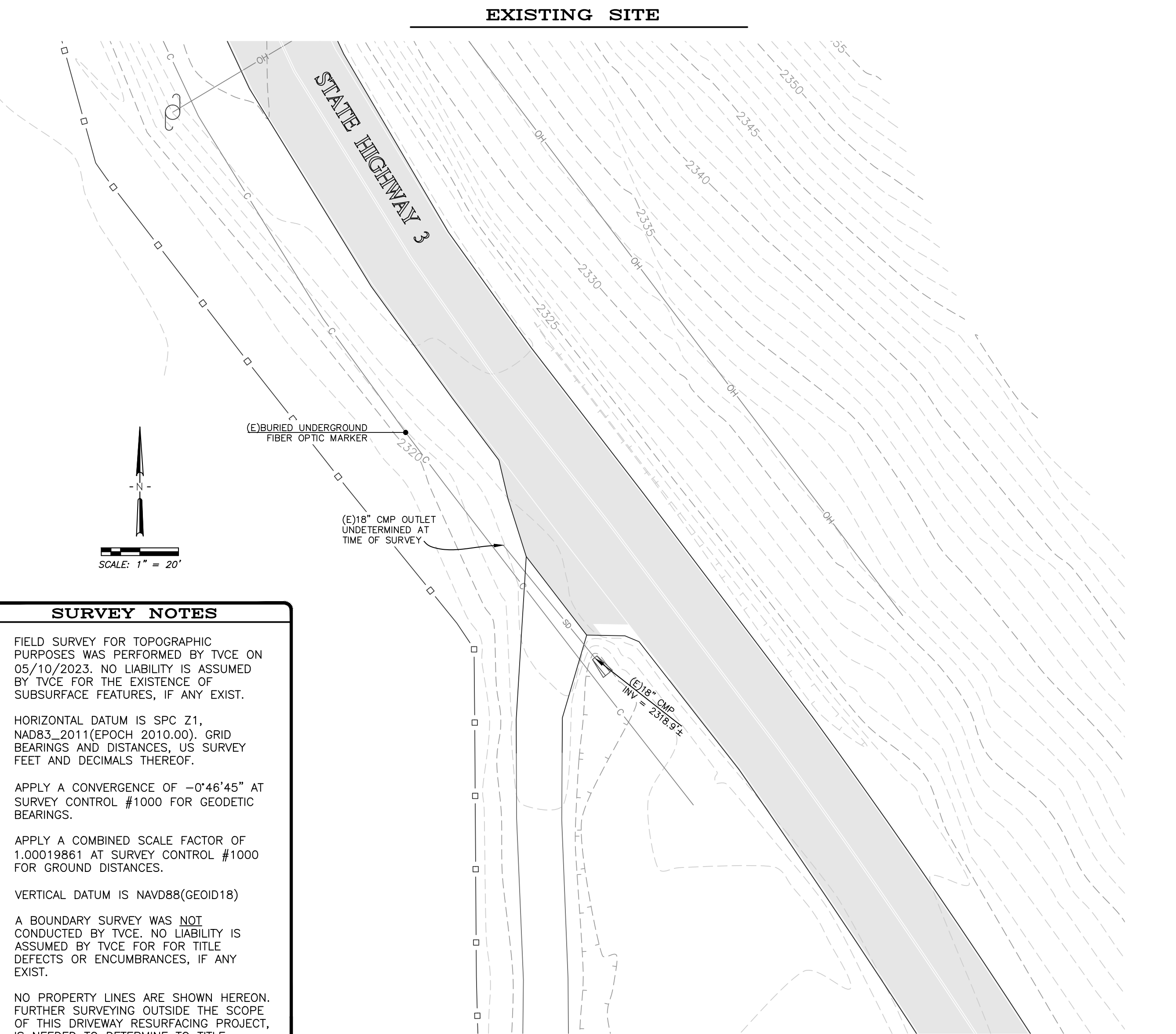
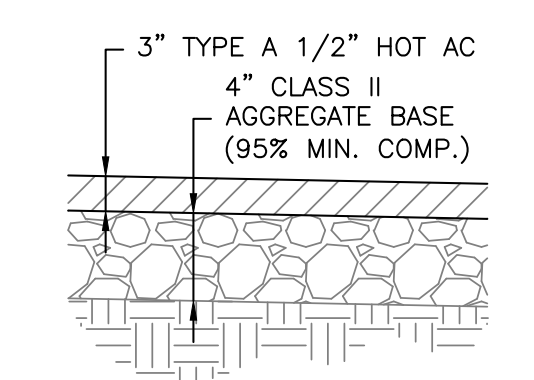
**DRAINAGE SWALE DETAIL**  
NOT TO SCALE



**TYP SHOULDER BACKING DETAIL**  
NOT TO SCALE



**TYP ROAD/PARKING HMA DETAIL**  
NOT TO SCALE



**SURVEY NOTES**

FIELD SURVEY FOR TOPOGRAPHIC PURPOSES WAS PERFORMED BY TVCE ON 05/10/2023. NO LIABILITY IS ASSUMED BY TVCE FOR THE EXISTENCE OF SUBSURFACE FEATURES, IF ANY EXIST.

HORIZONTAL DATUM IS SPC Z1, NAD83\_2011 (EPOCH 2010.00), GRID BEARINGS AND DISTANCES, US SURVEY FEET AND DECIMALS THEREOF.

APPLY A CONVERGENCE OF -0'46'45" AT SURVEY CONTROL #1000 FOR GEODETIC BEARINGS.

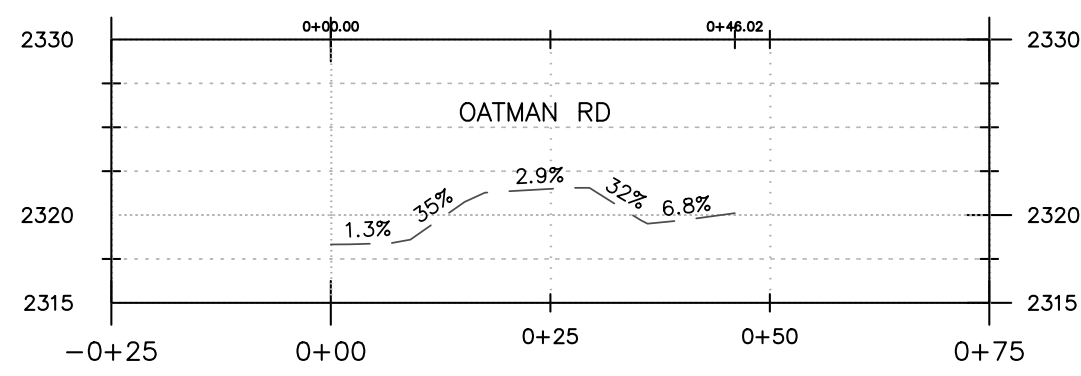
APPLY A COMBINED SCALE FACTOR OF 1.00019861 AT SURVEY CONTROL #1000 FOR GROUND DISTANCES.

VERTICAL DATUM IS NAVD88(GEOD18)

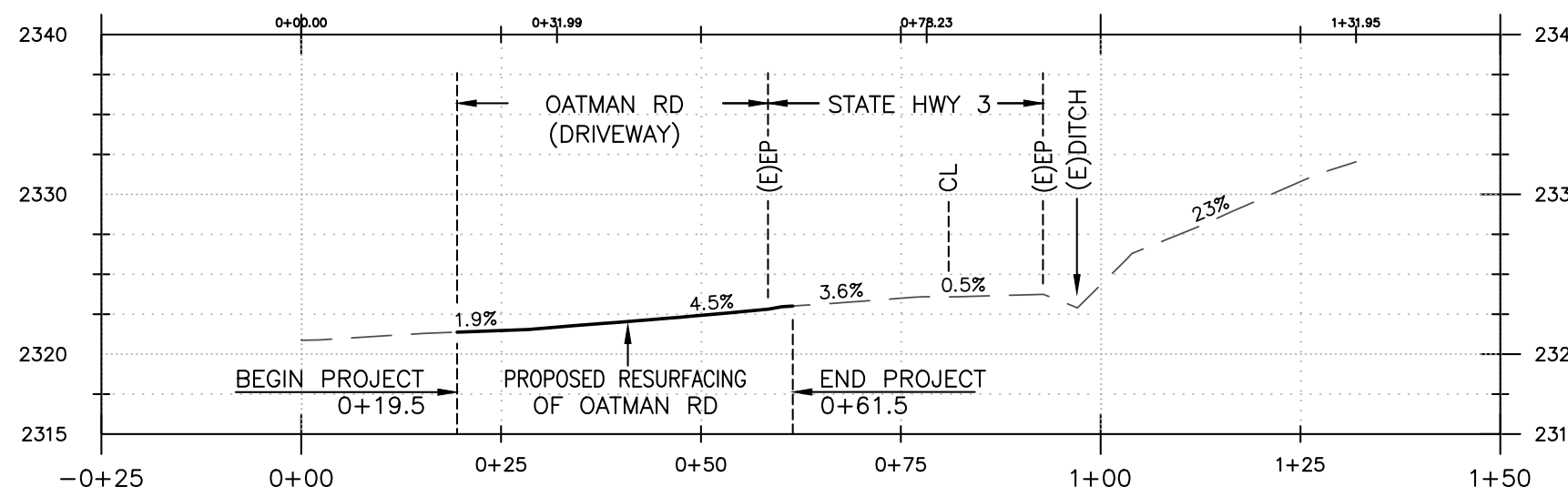
A BOUNDARY SURVEY WAS NOT CONDUCTED BY TVCE. NO LIABILITY IS ASSUMED BY TVCE FOR TITLE DEFECTS OR ENCUMBRANCES, IF ANY EXIST.

NO PROPERTY LINES ARE SHOWN HEREON. FURTHER SURVEYING OUTSIDE THE SCOPE OF THIS DRIVEWAY RESURFACING PROJECT, IS NEEDED TO DETERMINE TO TITLE OCCUPATION AND RIGHT OF WAY LINES.

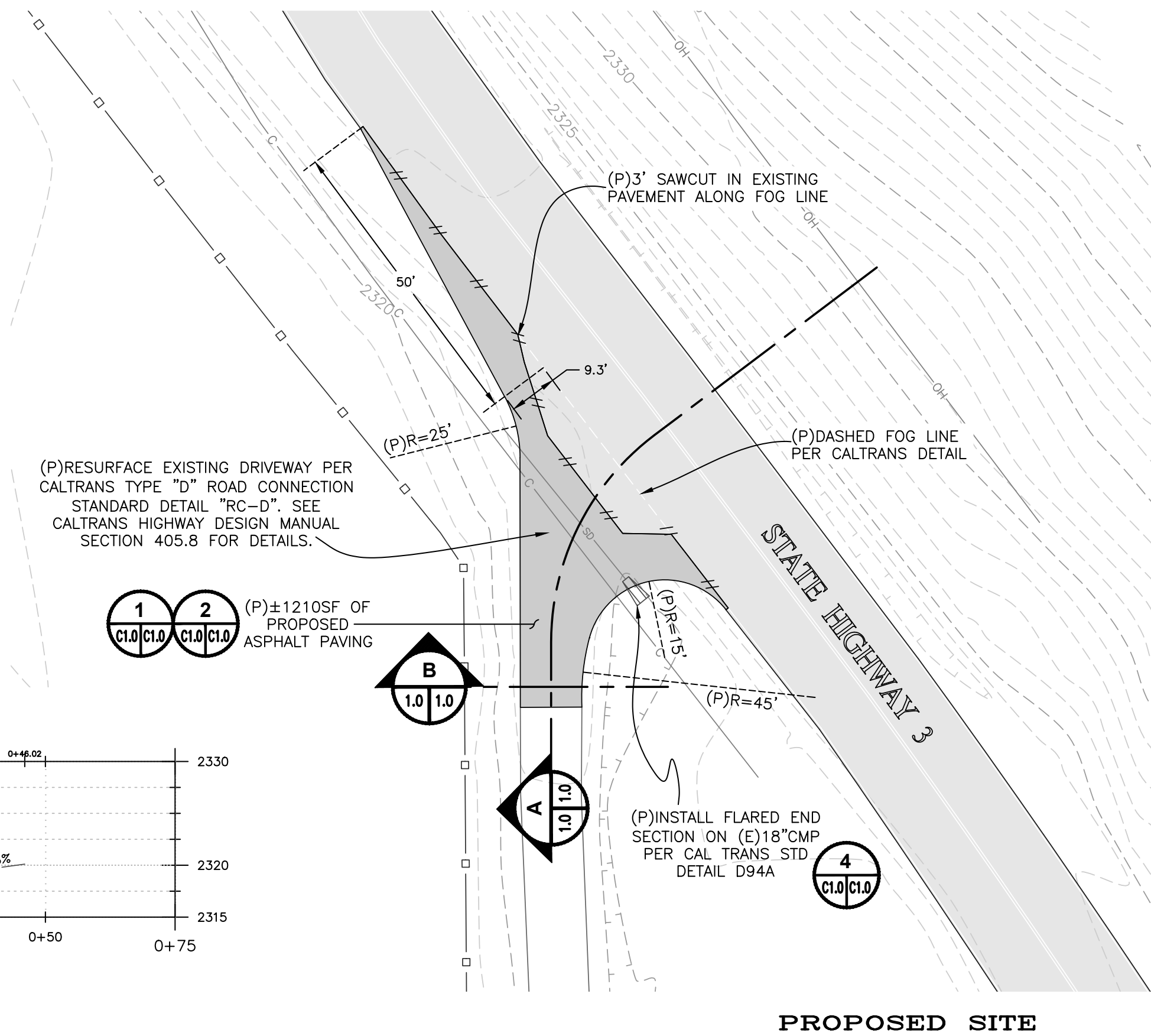
**SECTION B**  
HOR SCALE: 1" = 20'  
VER SCALE: 1" = 10'



**PROFILE A**  
HOR SCALE: 1" = 20'  
VER SCALE: 1" = 10'



END SECTION THICKNESS 0.064" \*  
\* EQUIVALENT PLASTIC FES TO MEET AASHTO M-294 AND ASTM D-1248 SPECIFICATIONS, AND SHALL CONFORM TO ALL DIMENSIONS SHOWN ABOVE EXCEPT FOR END SECTION THICKNESS, WHICH MAY BE 0.004" THINNER.



**TVCE**

67 WALNUT WAY  
PO BOX 1567  
WILLOW CREEK, CA 95573  
P:(530)829-3000  
F:(530)829-3011

REGISTERED PROFESSIONAL ENGINEER  
ERIC E. KELES  
C 90533  
EXP. 12/31/2023  
STATE OF CALIFORNIA

DESIGNED BY	DATE
CHECKED BY	DATE
DRAWN BY	DATE
APP. BY	DATE

DESCRIPTION	DATE	REV

TRINITY FLAVOR LLC  
504 OATMAN ROAD  
HAYFORK, CA 96041  
APN 014-180-095

TRINITY, CALIFORNIA

**GRADING PLAN**

DATE OF ISSUE: JUNE 2023  
SCALE: 1" = 20'  
PROJECT NO: 1331.31  
DRAWING NO: C 1 / 6

REVISIONS:	DATE:

THOMAS GOCHA  
DESIGN  
PLANNING  
CONSULTING  
PROJECT MANAGEMENT

TRINITY COUNTY  
PO BOX 578  
HAYFORK, CA 96041  
805.451.8441  
tcggochadesign.net

VENTURA COUNTY  
SANTA BARBARA COUNTY  
1072 CASITAS PASO ROAD  
CARPINTERIA, CA 93013  
805.451.8441  
tcggochadesign.net

www.gochadesign.net

ENGINEER:  
TRINITY VALLEY  
CONSULTING ENGINEERS

2200 MAIN STREET  
WEAVERVILLE CA 96093  
530.629.3000

STAMP:

PROJECT:  
PROPOSED SITE  
DEVELOPMENT PLAN

TRINITY FLAVOR LLC  
504 OATMAN ROAD  
HAYFORK CA 96041  
APN: 014-180-95-00

OWNER:  
TRINITY FLAVOR LLC  
3974 SORRENTO VALLEY BLVD  
#910770  
SAN DIEGO CA 92121-1410

PROJECT PHASE:  
DEVELOPMENT PLAN  
BLDG 2022-00183  
CCL-692

SHEET CONTENTS:  
RESURFACING PLAN  
@ EXISTING  
DRIVEWAY

DATE: JUNE 11 2023  
SCALE: AS SHOWN  
DRAWN BY: TCG  
CHECKED BY: TCG  
JOB NO: 014-180-95-00

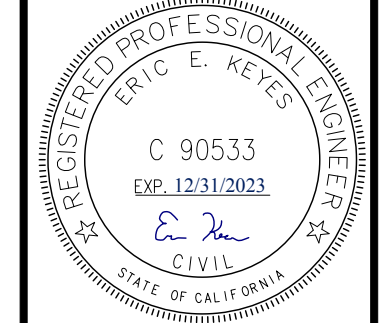
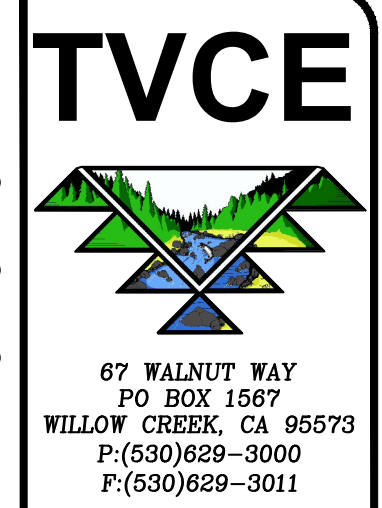
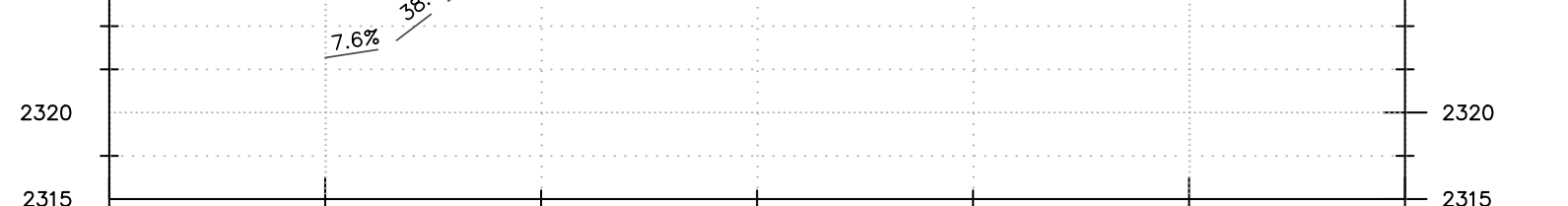
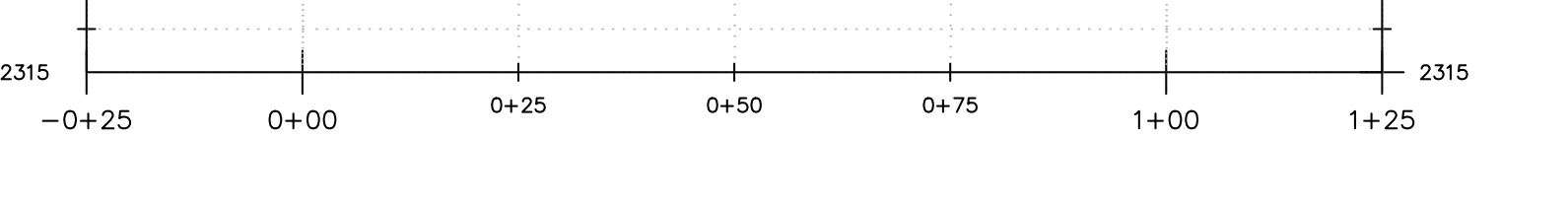
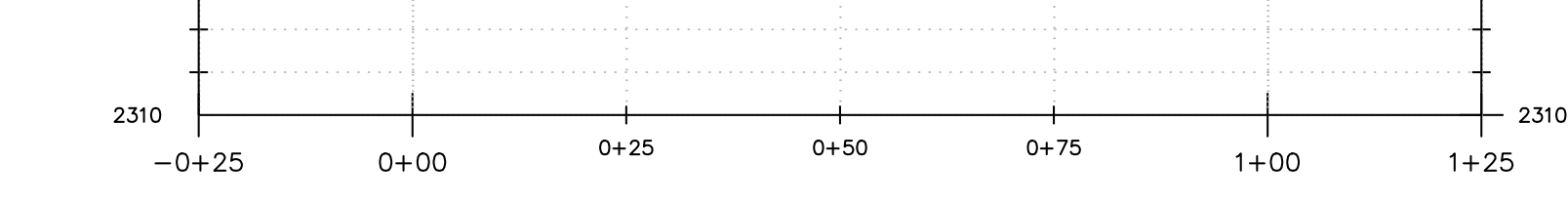
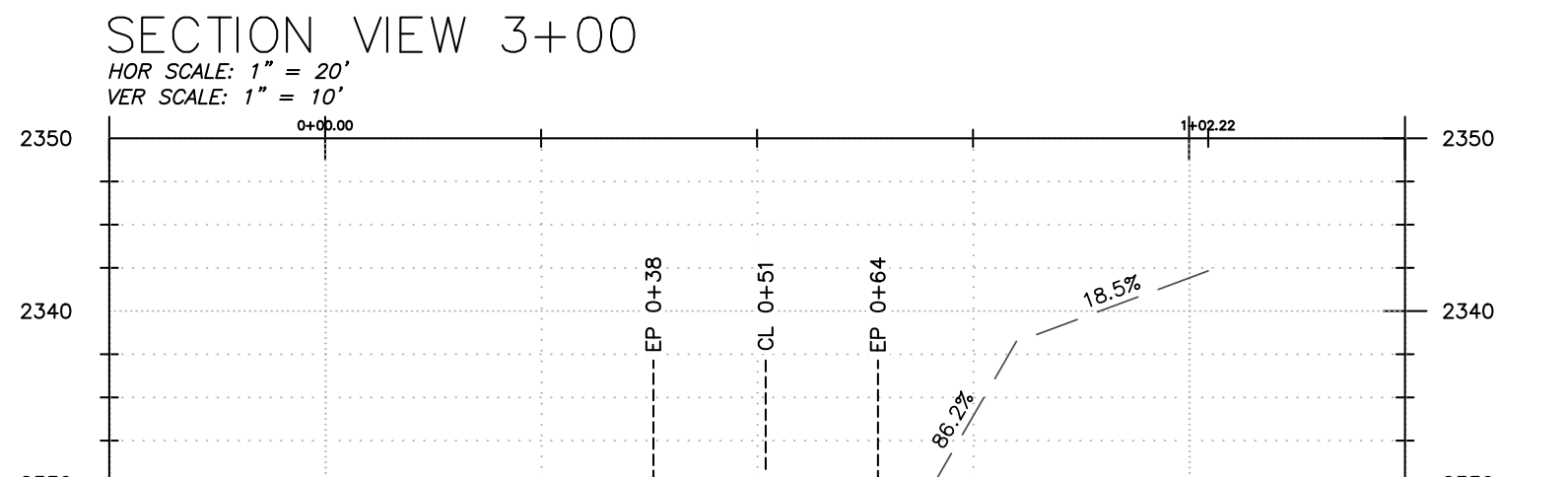
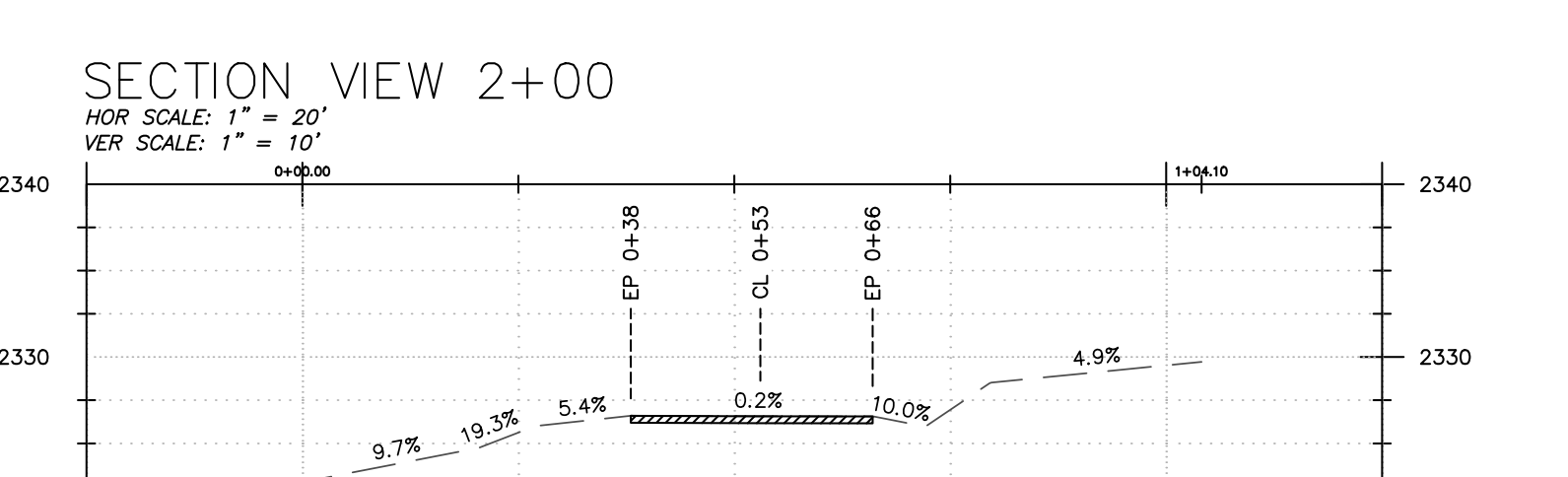
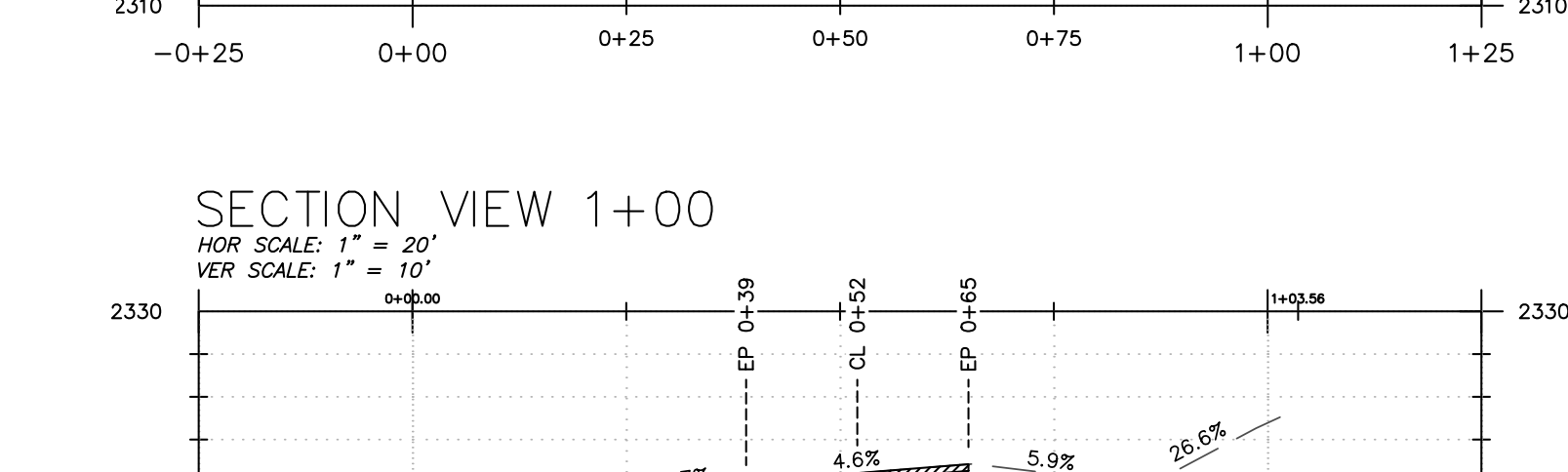
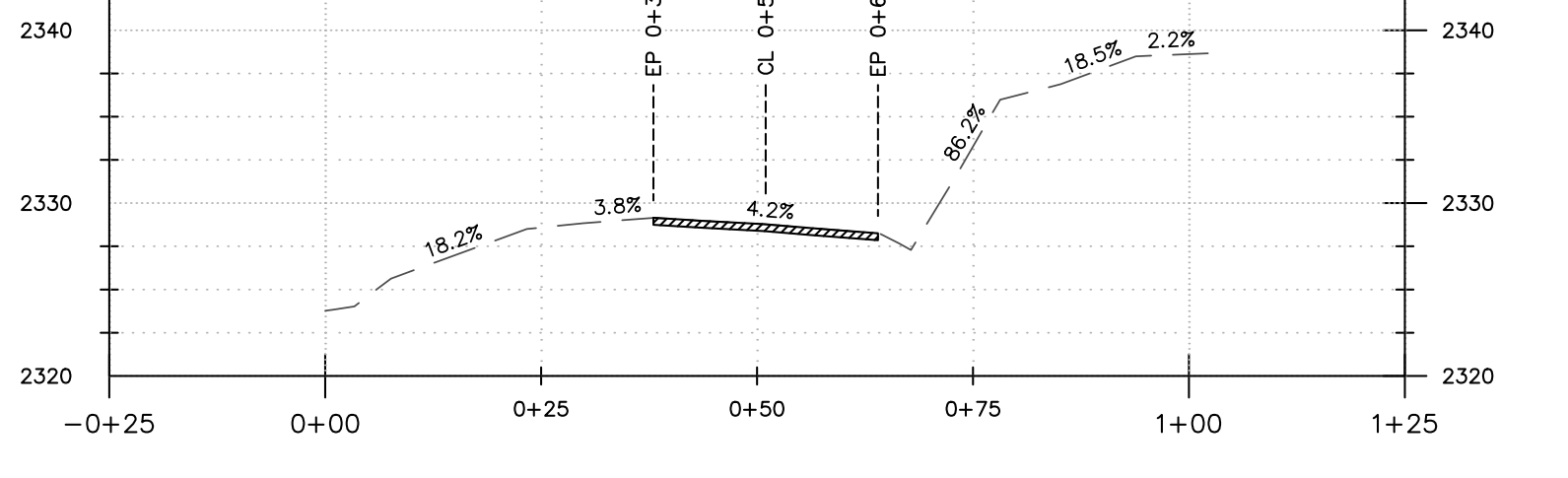
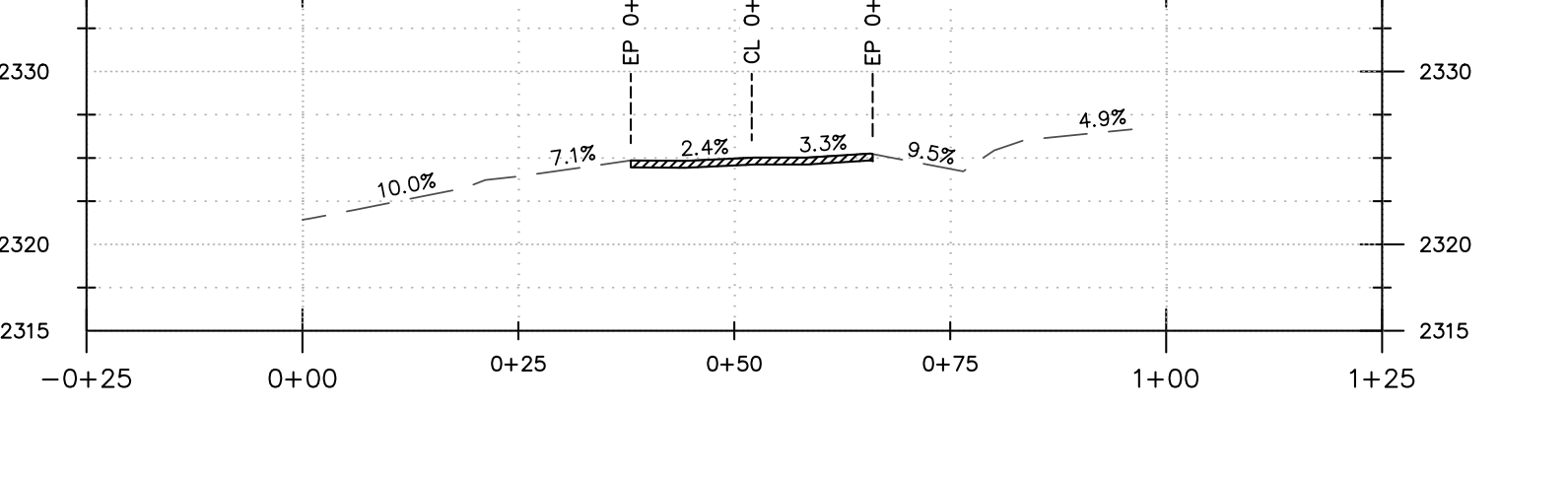
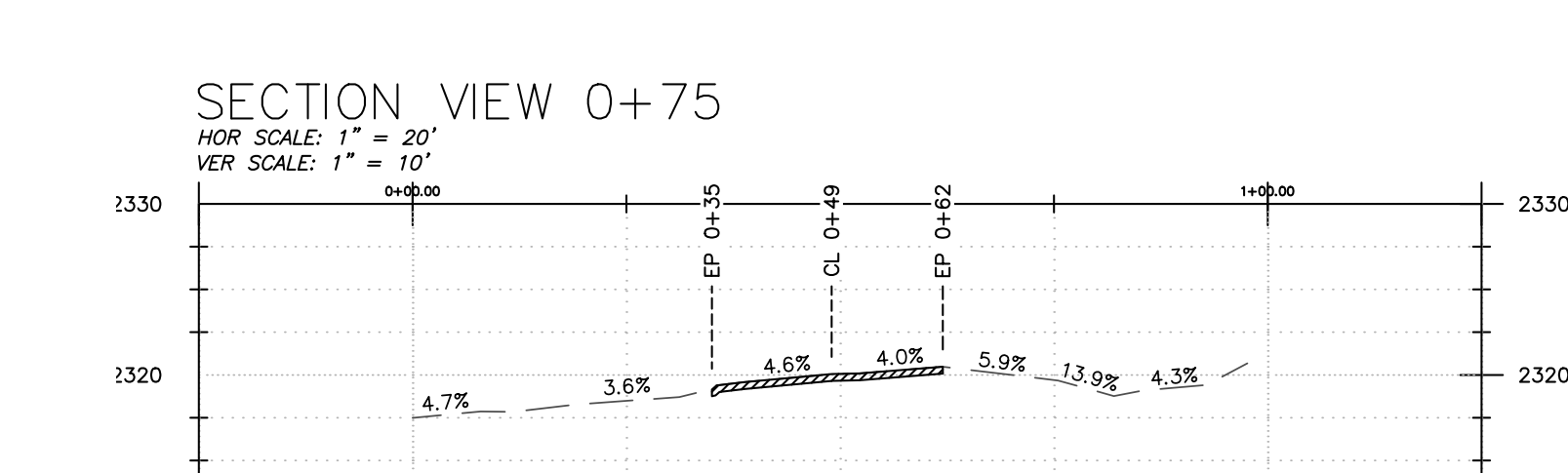
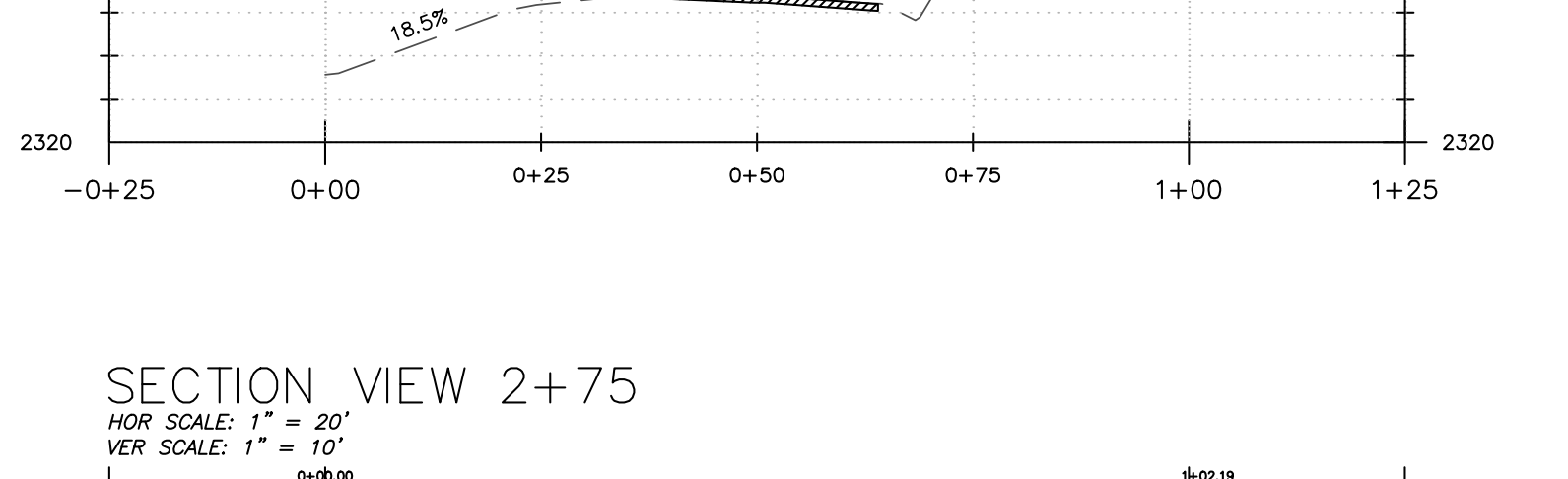
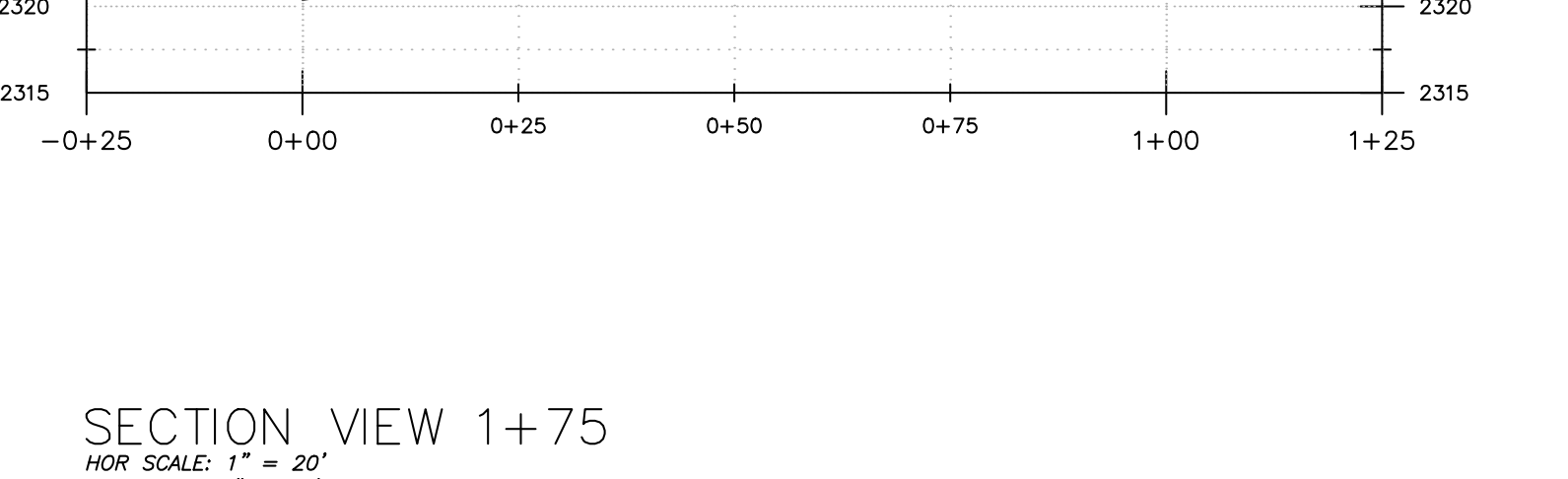
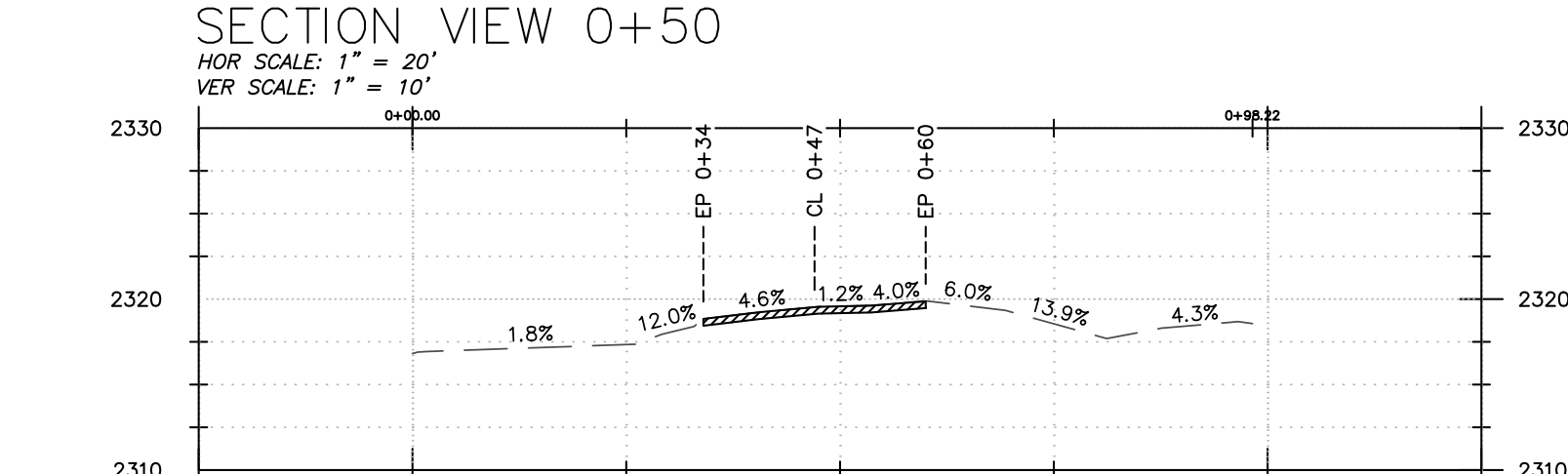
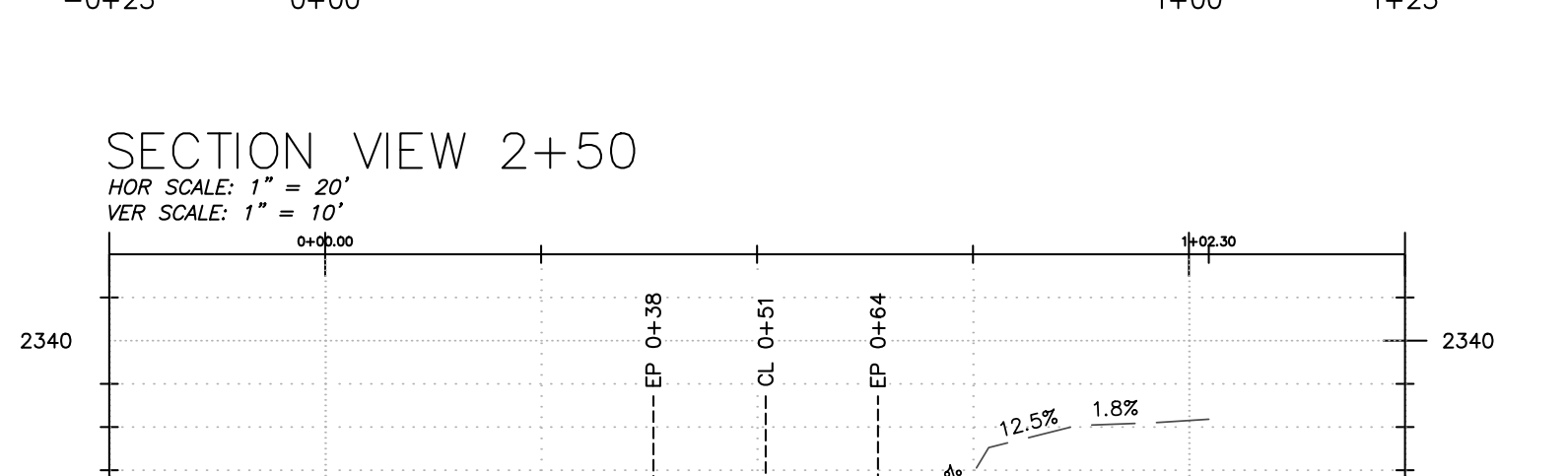
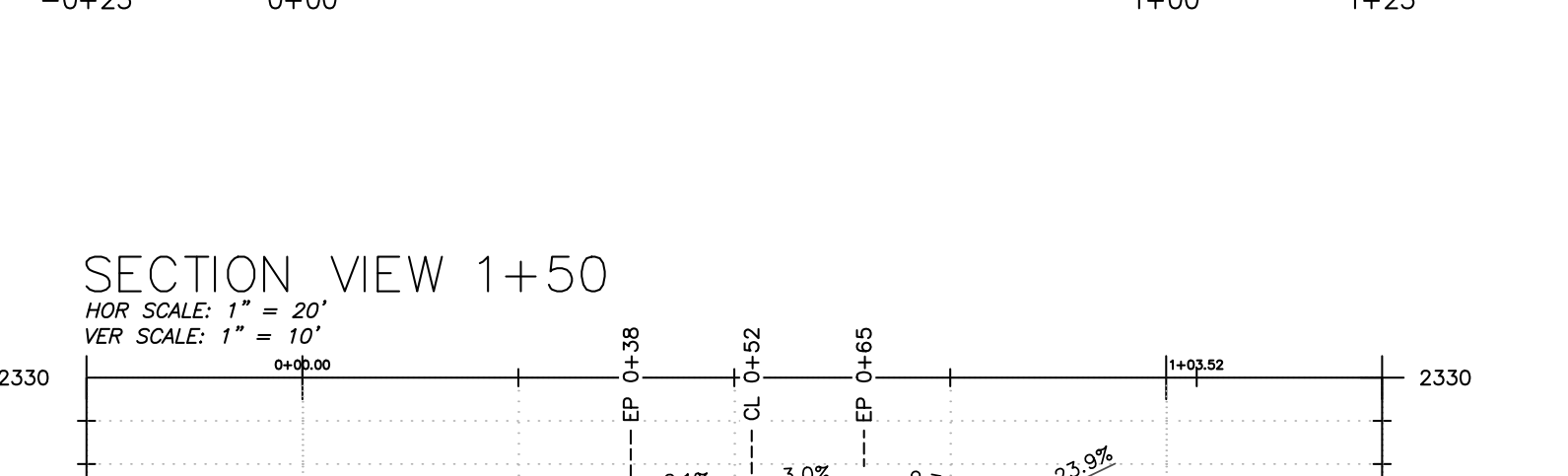
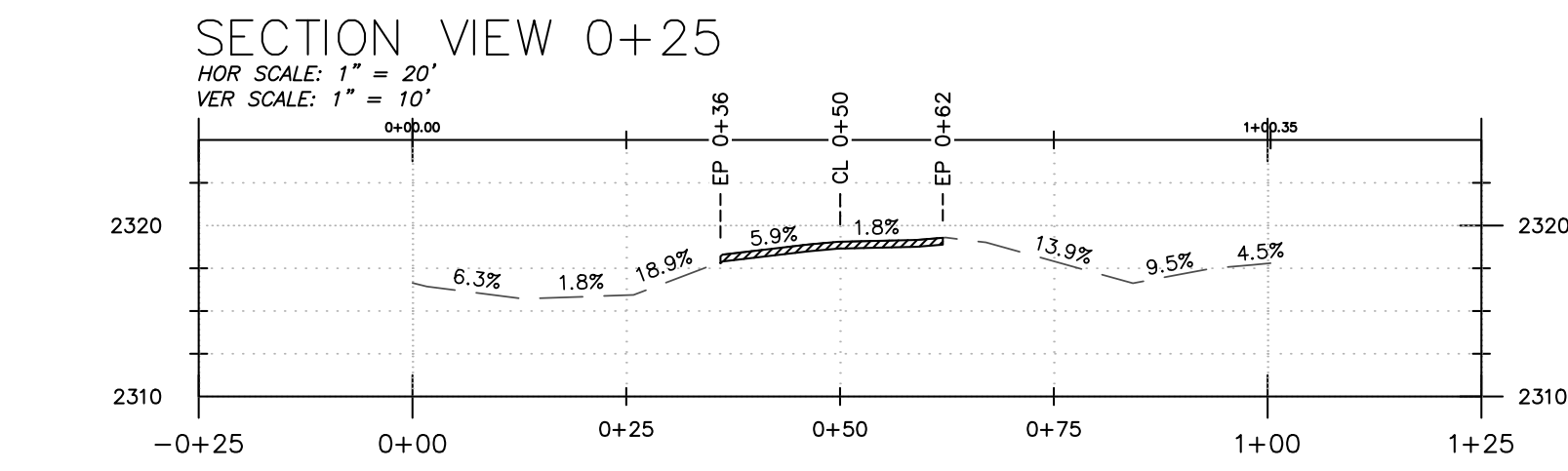
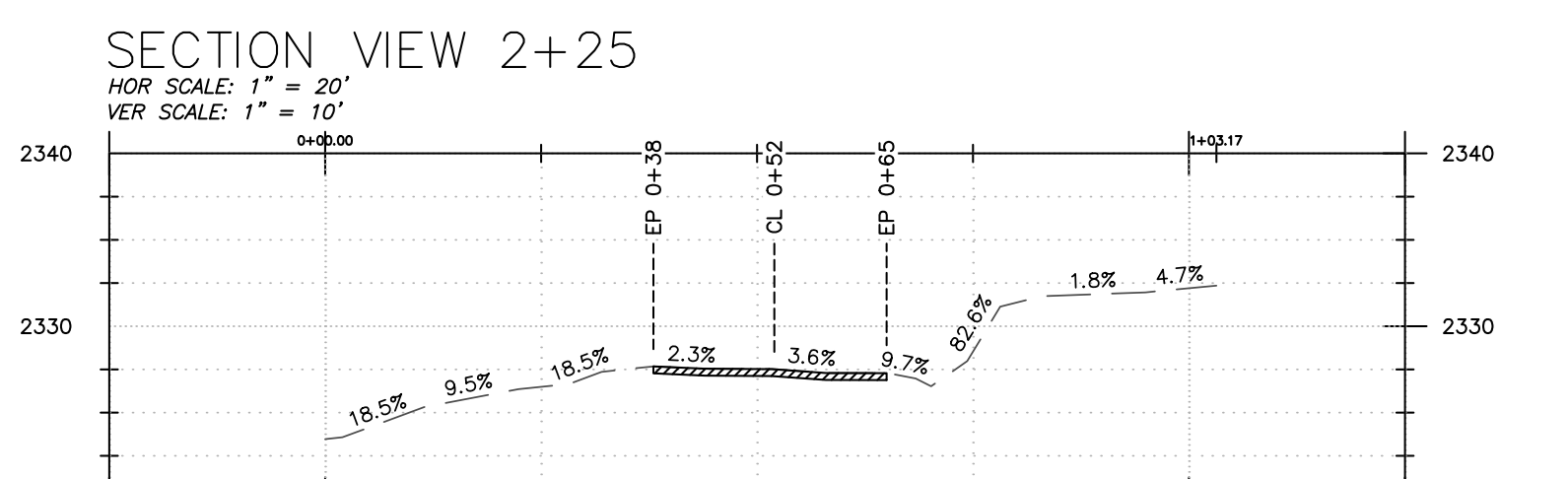
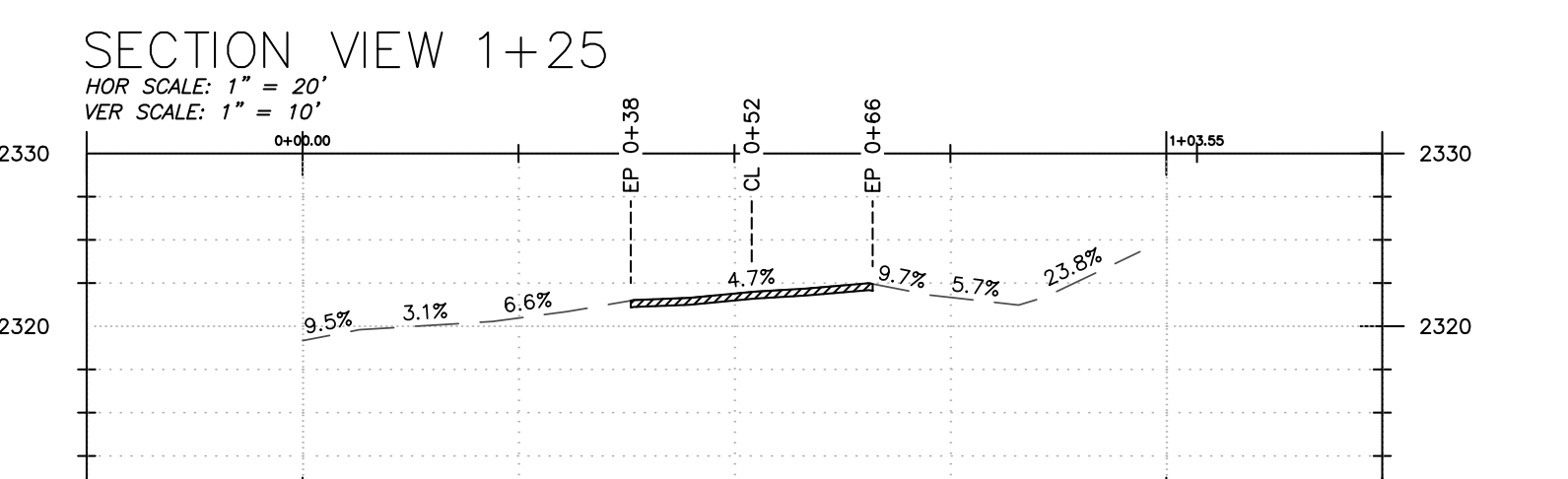
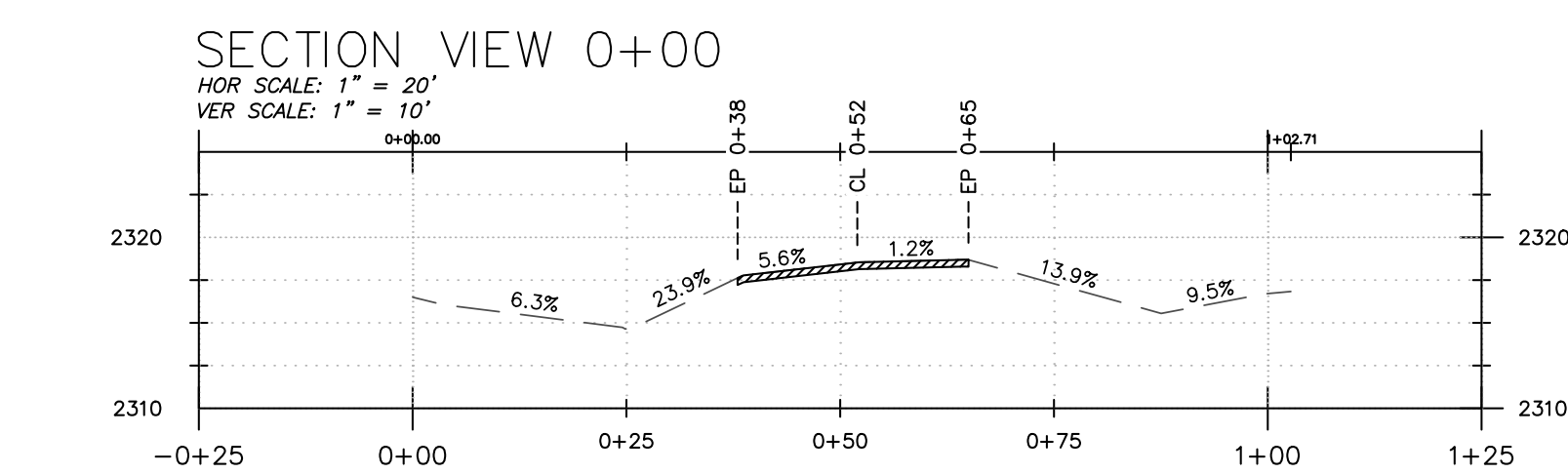
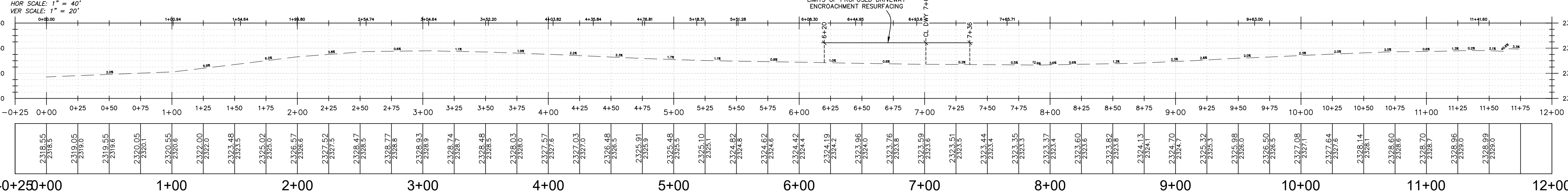
SHEET NO:

EP.3

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PROFILE VIEW CENTERLINE HIGHWAY 3



REV	DATE	DESCRIPTION

TRINITY FLAVOR LLC  
 504 GATMAN ROAD  
 HAYFORK CA 96041  
 APN 014-180-095

**CROSS SECTIONS**  
 TRINITY, CALIFORNIA

DATE OF ISSUE:  
 JUNE 2023

SCALE:  
 VARIES

PROJECT NO:  
 1331.31

DRAWING NO:  
**C 3 / 6**

DATE: JUNE 11 2023

SCALE: AS SHOWN

DRAWN BY: TCG

CHECKED BY: TCG

JOB NO: 014-180-95-00

REVISIONS:	DATE:

THOMAS GOCHA  
 DESIGN  
 PLANNING  
 CONSULTING  
 PROJECT MANAGEMENT

A  
S  
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L  
C

TRINITY COUNTY  
 PO BOX 578  
 HAYFORK, CA 96041  
 805.451.8441  
 tcggochadesign.net

SANTA BARBARA COUNTY  
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ENGINEER:  
 TRINITY VALLEY  
 CONSULTING ENGINEERS

2200 MAIN STREET  
 HEAVERVILLE CA 96093  
 530.629.3000

STAMP:

PROJECT:  
 PROPOSED SITE  
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TRINITY FLAVOR LLC  
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 APN: 014-180-95-00

OWNER:  
 TRINITY FLAVOR LLC  
 3974 SORRENTO VALLEY BLVD  
 #110710  
 SAN DIEGO CA 92121-1410

PROJECT PHASE:  
 DEVELOPMENT PLAN  
 BLDG2022-00183  
 CCL-692

SHEET CONTENTS:  
**ROAD GEOMETRY**

DATE OF ISSUE:  
 JUNE 2023

SCALE:  
 VARIES

PROJECT NO:  
 1331.31

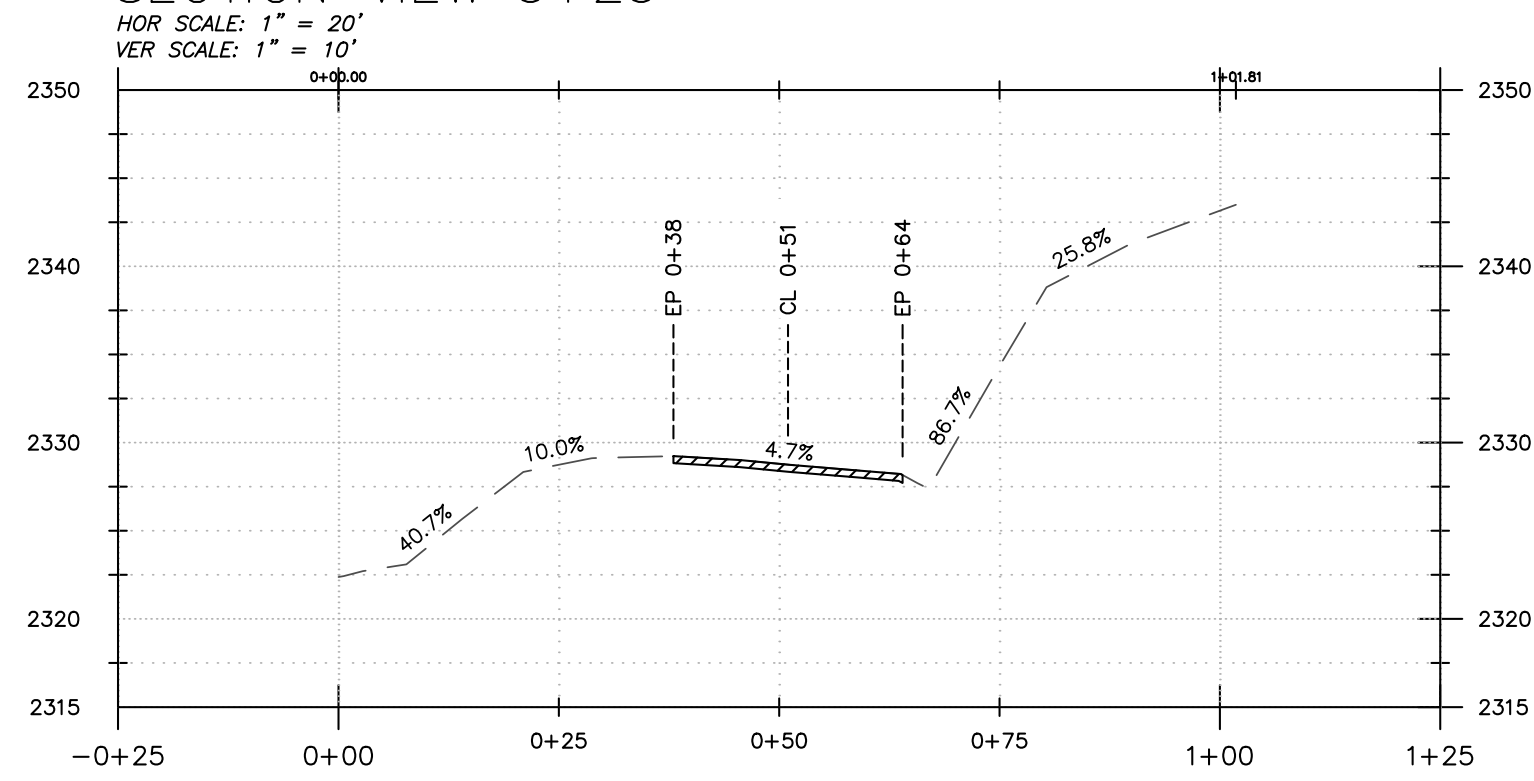
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SHEET NO:

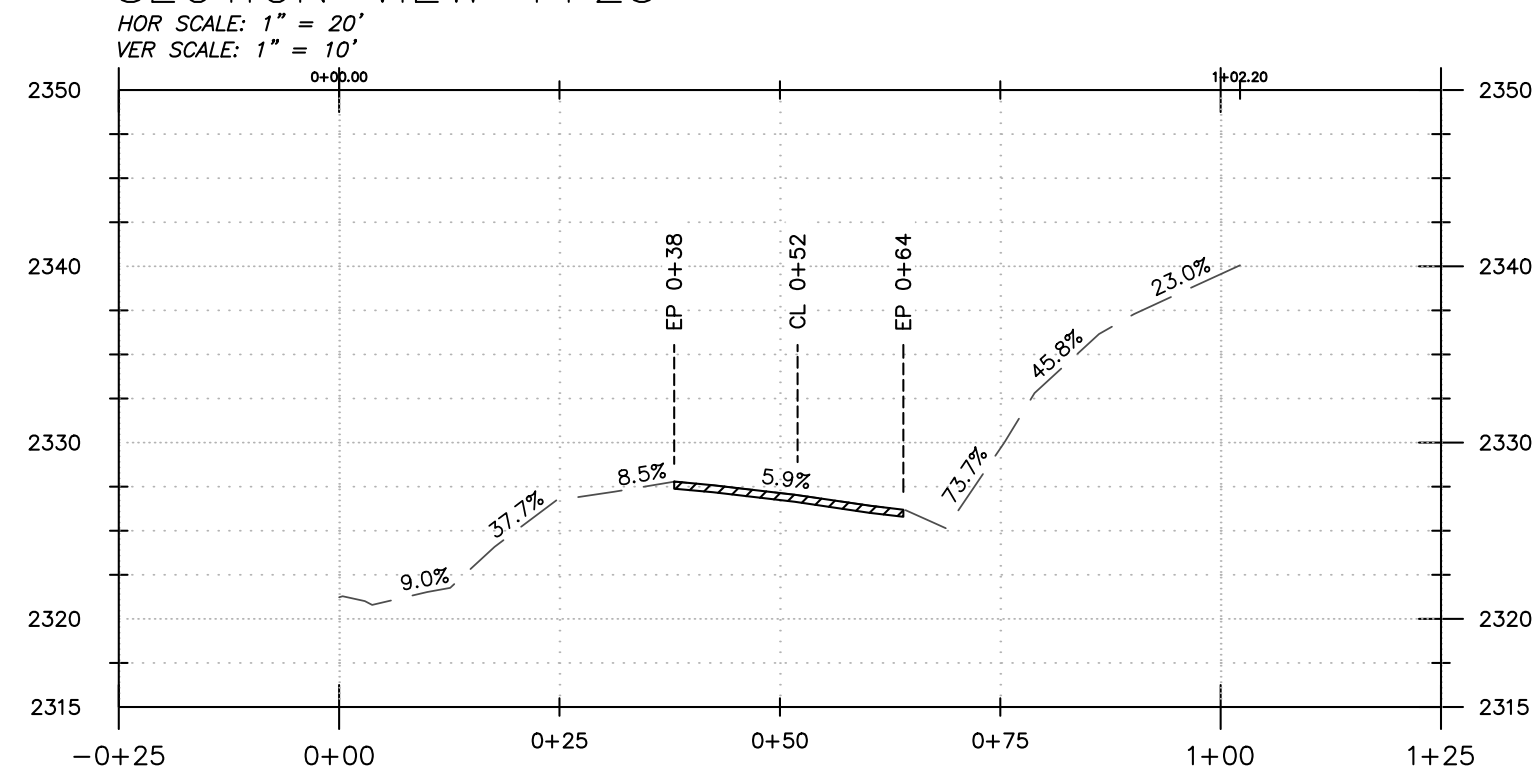
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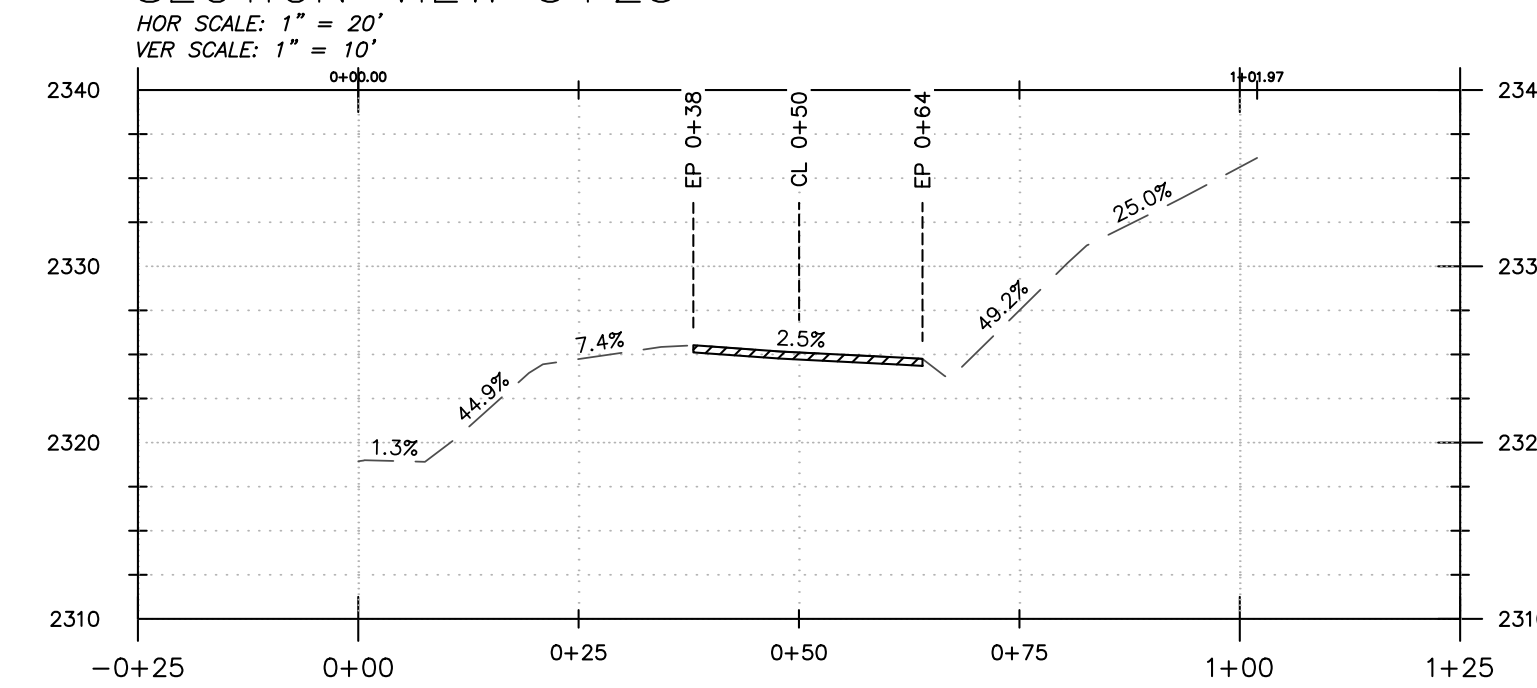
SECTION VIEW 3+25



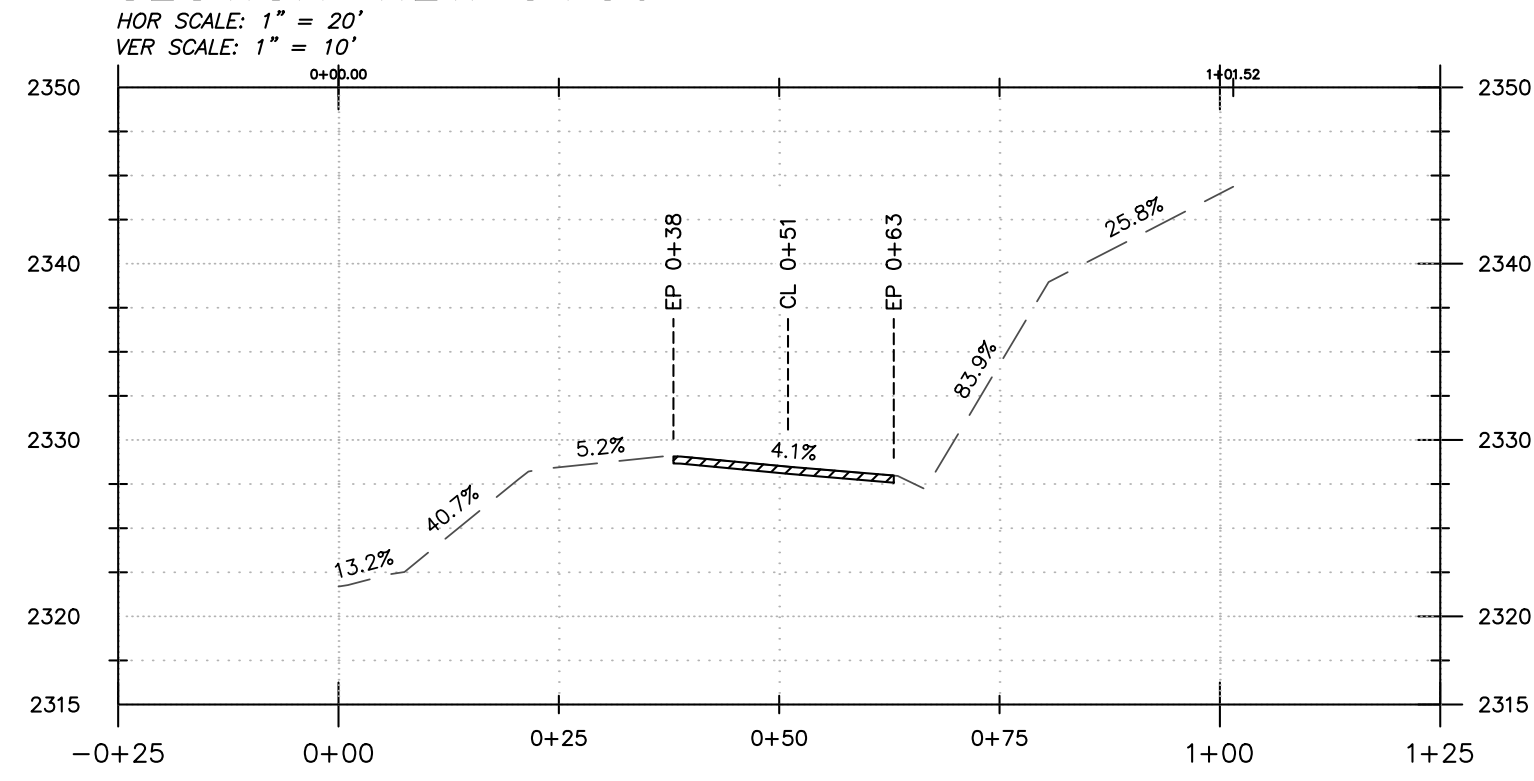
SECTION VIEW 4+25



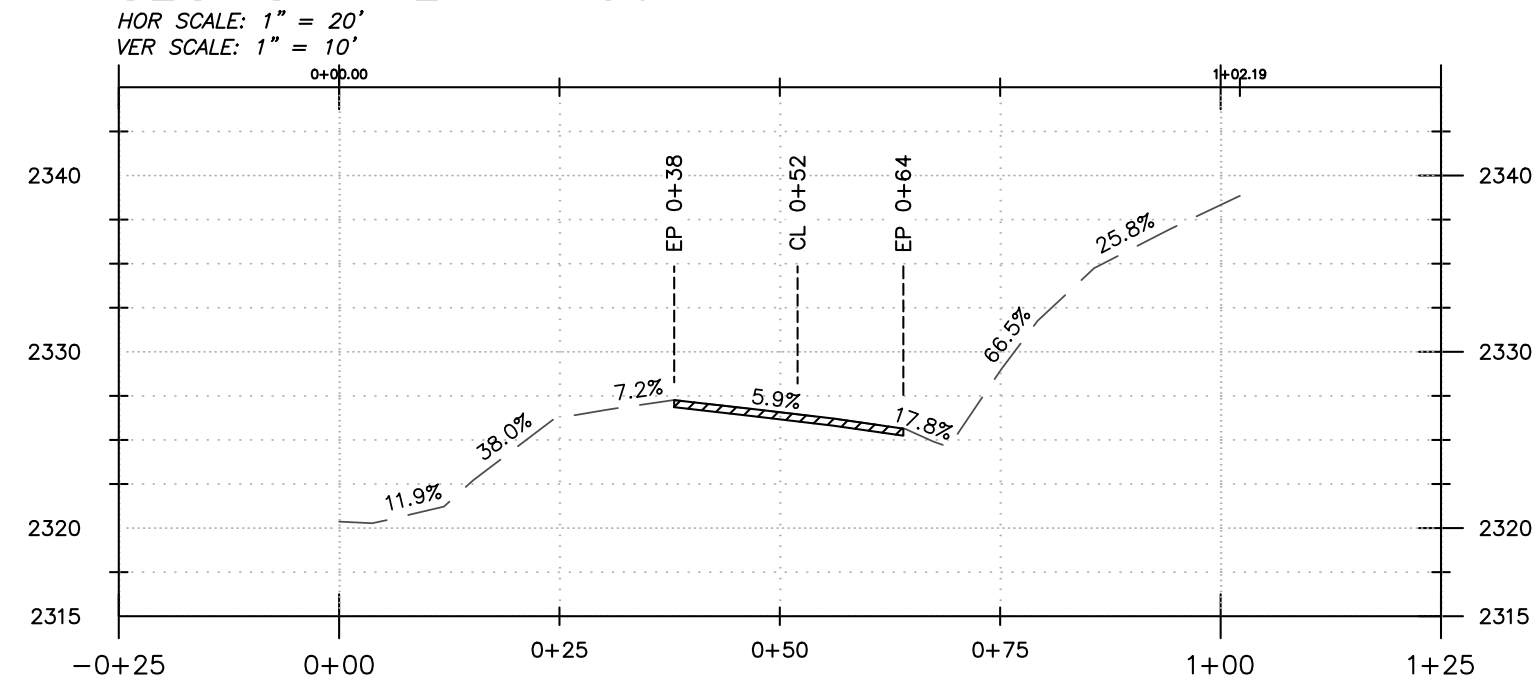
SECTION VIEW 5+25



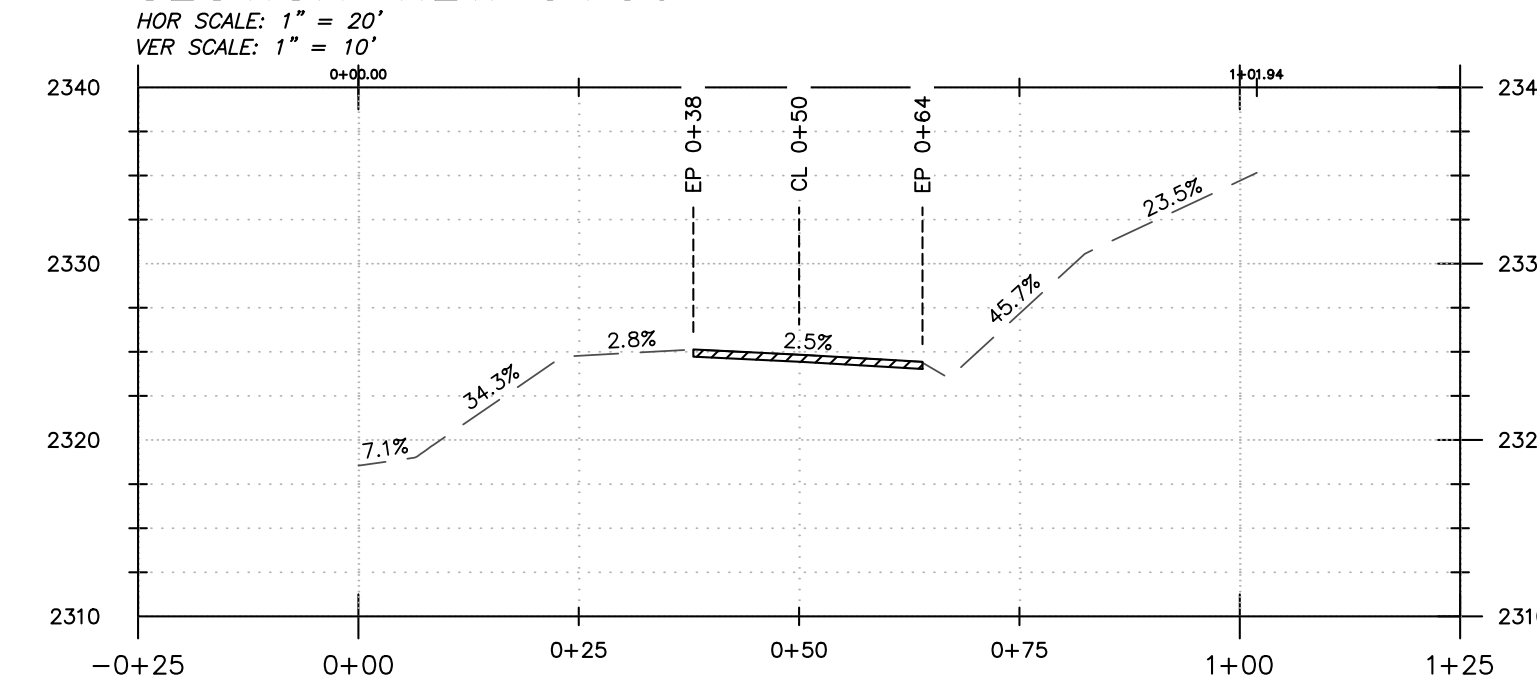
SECTION VIEW 3+50



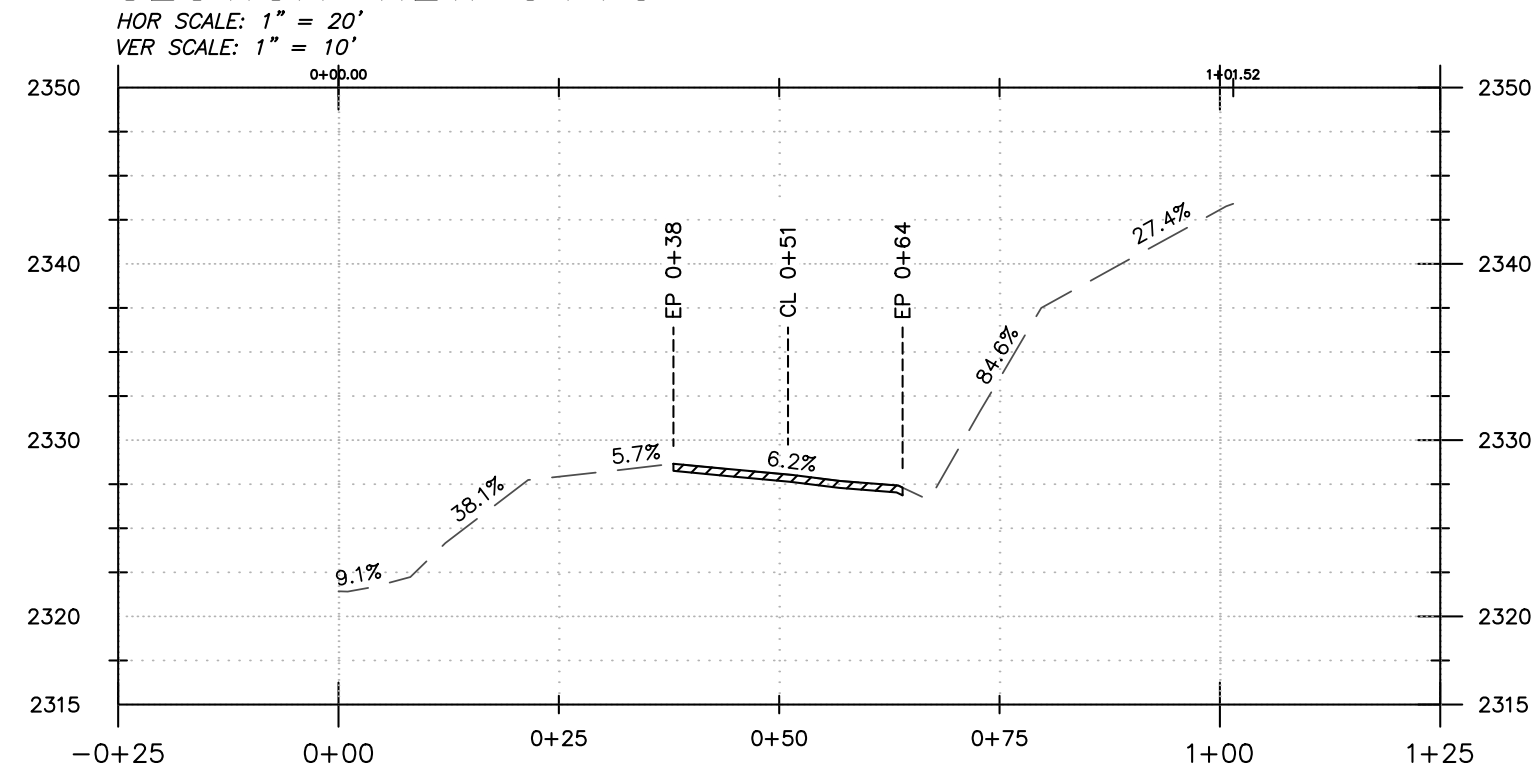
SECTION VIEW 4+50



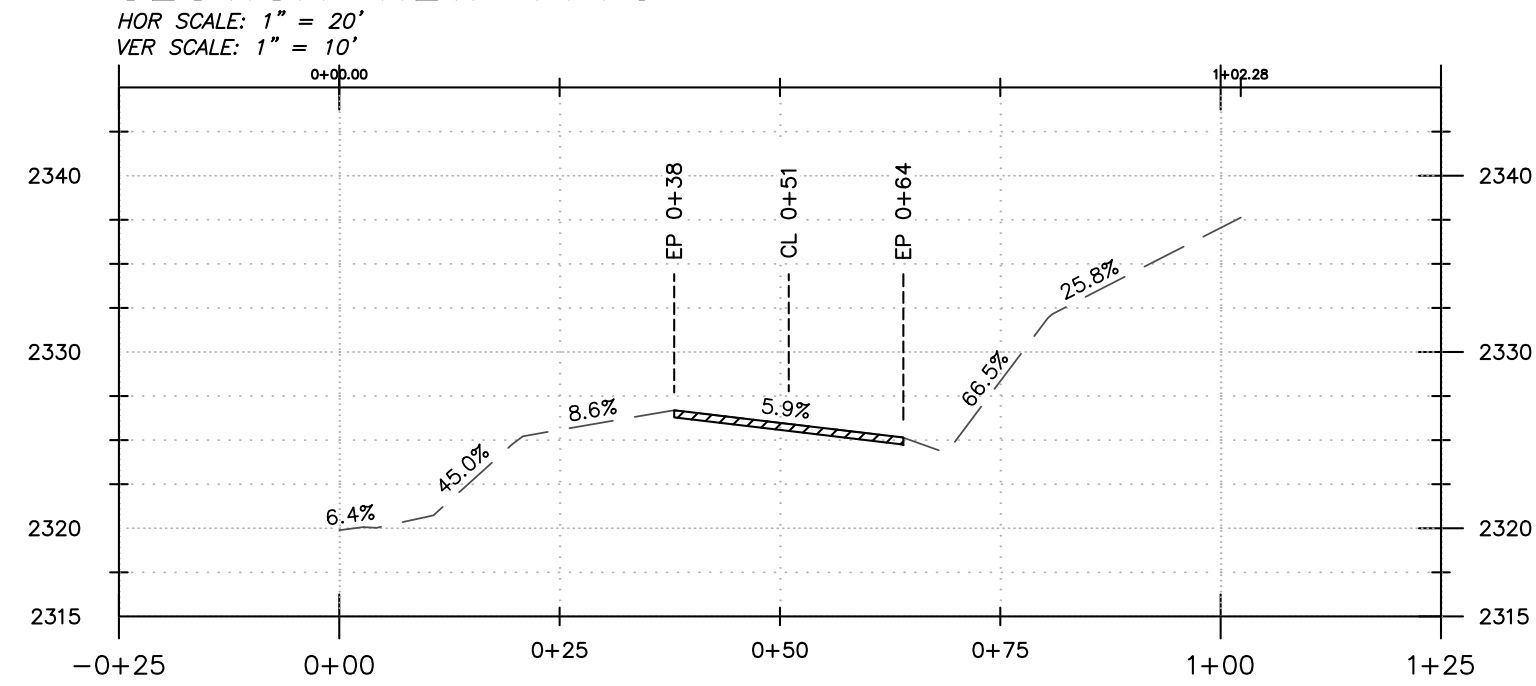
SECTION VIEW 5+50



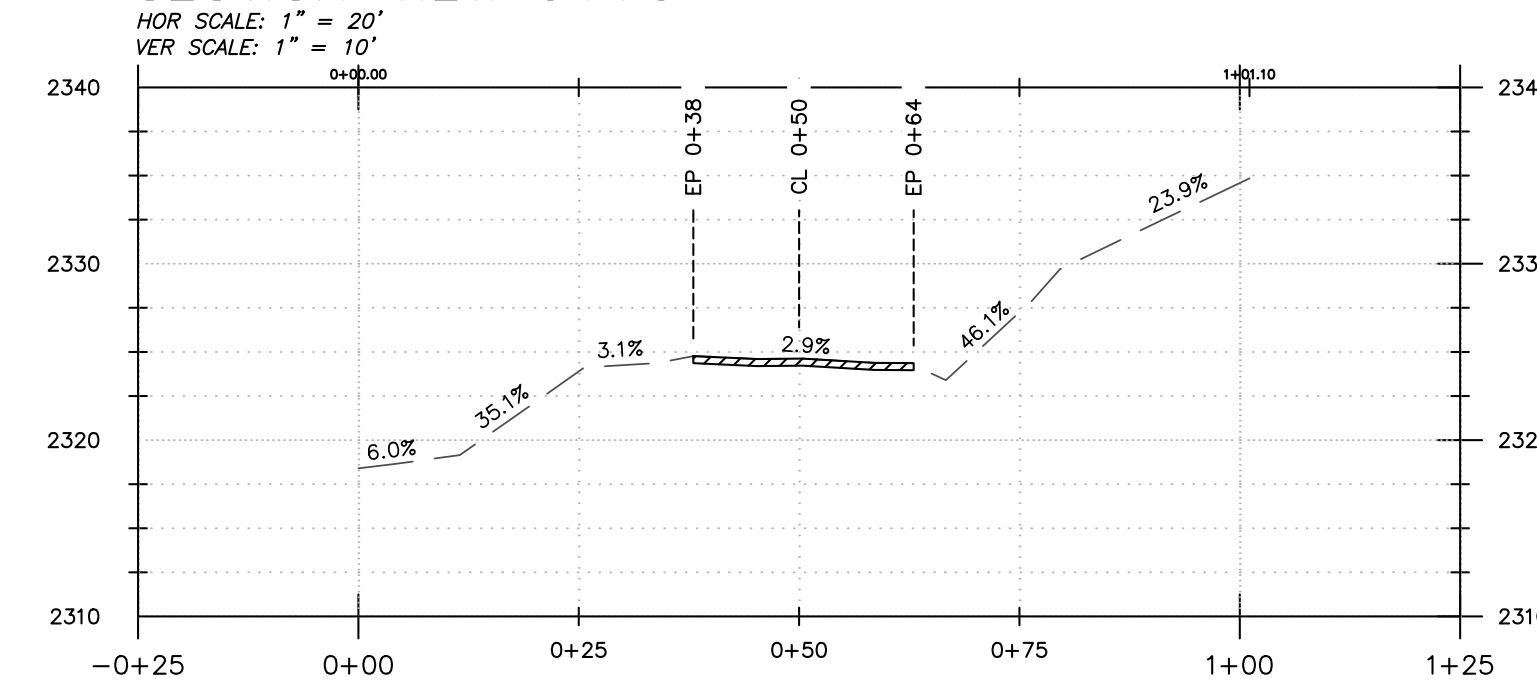
SECTION VIEW 3+75



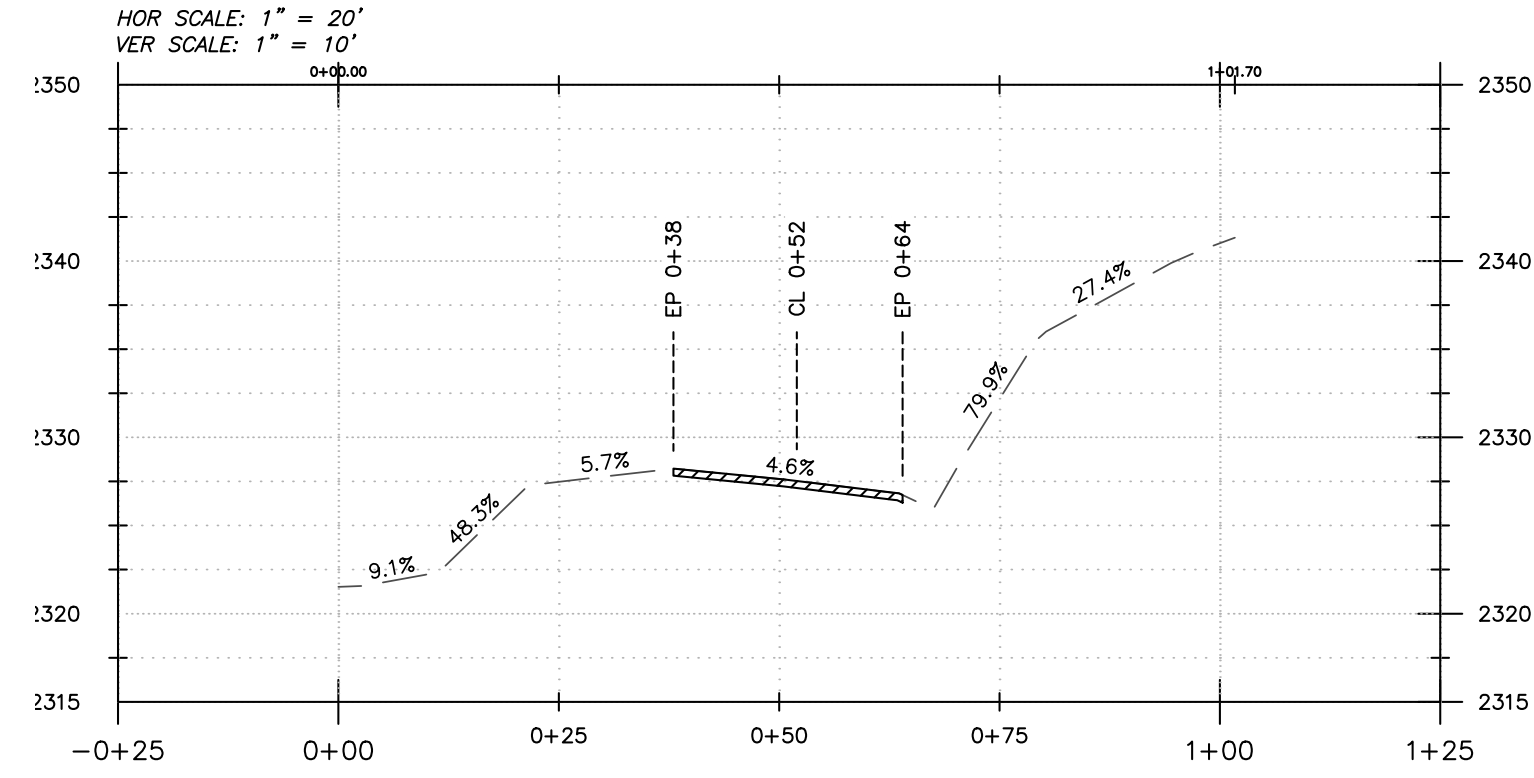
SECTION VIEW 4+75



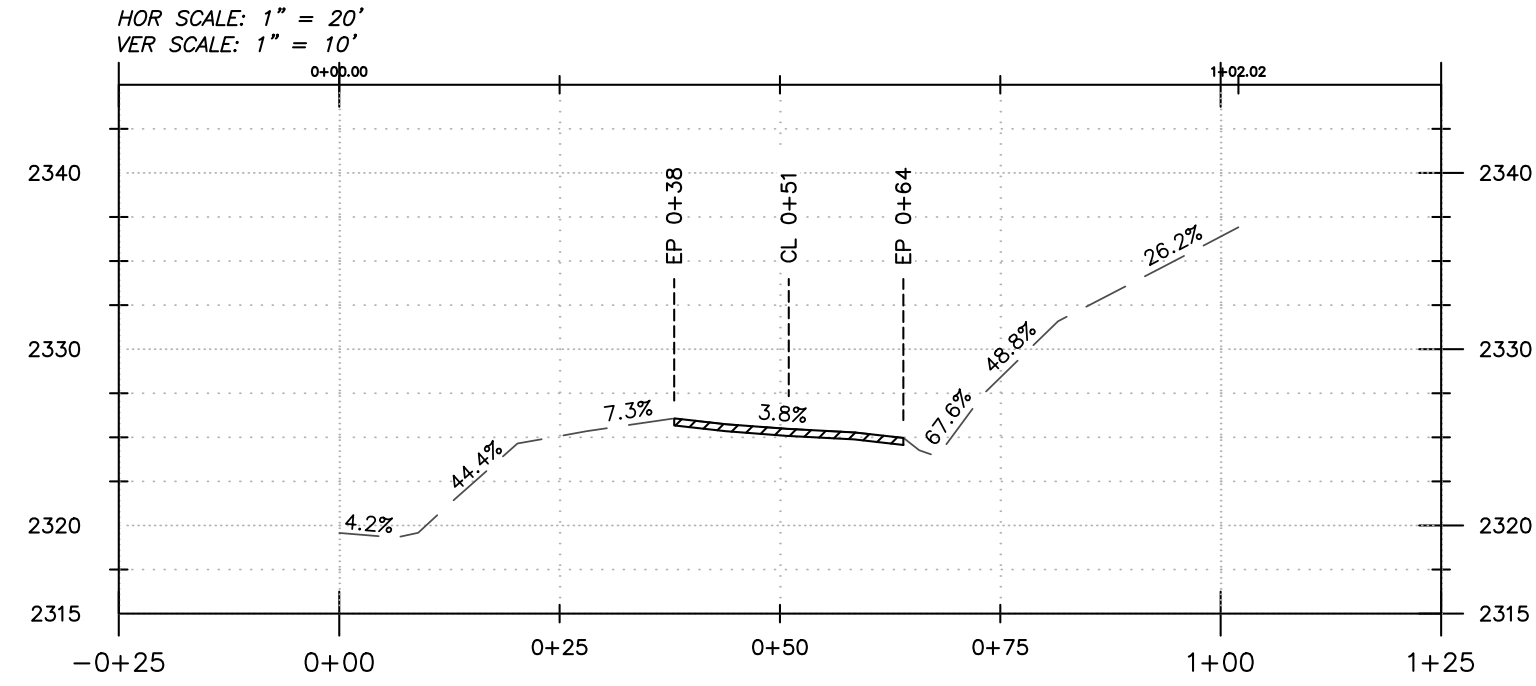
SECTION VIEW 5+75



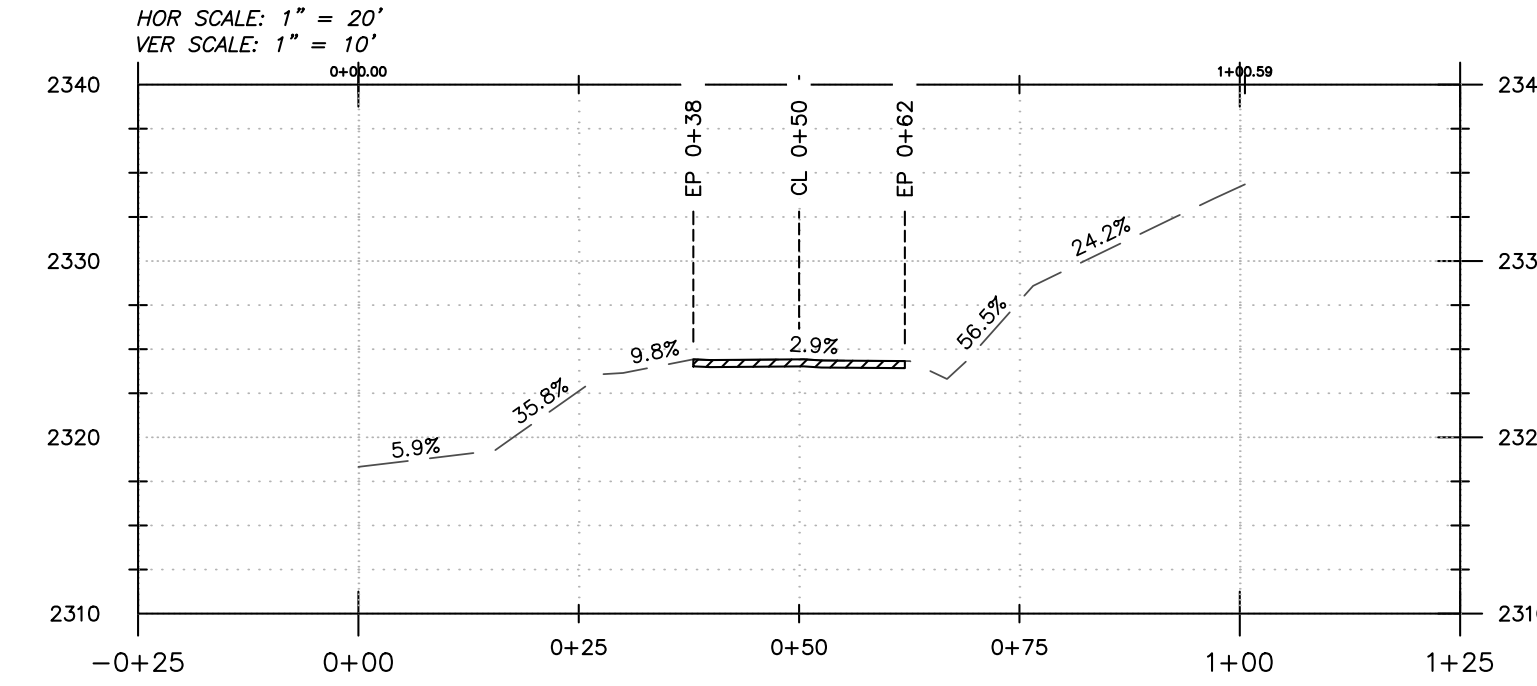
SECTION VIEW 4+00



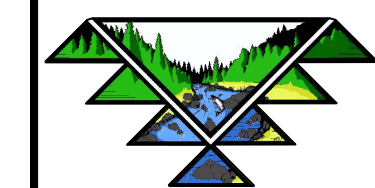
SECTION VIEW 5+00



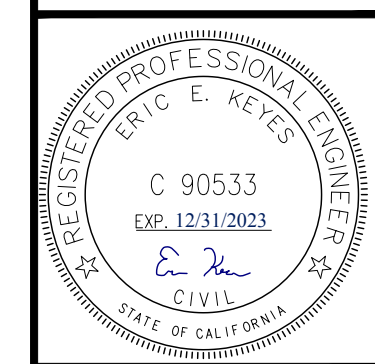
SECTION VIEW 6+00



TVCE



67 WALNUT WAY  
PO BOX 1587  
WILLOW CREEK, CA 95573  
P: (530) 629-3000  
F: (530) 629-3011



REGISTERED PROFESSIONAL ENGINEER  
ERIC E. KEES  
C 90533  
EXP. 12/31/2023  
CIVIL  
STATE OF CALIFORNIA

REV	DATE	DESCRIPTION	APP BY	CHK BY	DIS BY

TRINITY FLAVOR LLC  
504 OATMAN ROAD  
HAYFORK, CA 96041  
APN 014-180-095

TRINITY, CALIFORNIA

DATE OF ISSUE:  
JUNE 2023

SCALE:  
1" = 20'

PROJECT NO:  
1331.31

DRAWING NO:  
**C 4 / 6**

REVISIONS:	DATE:

THOMAS GOCHA  
DESIGN  
PLANNING  
CONSULTING  
PROJECT MANAGEMENT

TRINITY COUNTY  
PO BOX 578  
HAYFORK, CA 96041  
805.451.8441  
tcgochadesign.net

VENTURA COUNTY  
SANTA BARBARA COUNTY  
1072 CASITAS PASS ROAD  
CARPINTERIA, CA 93013  
805.451.8441  
tcgochadesign.net

www.gochadesign.net

ENGINEER:  
TRINITY VALLEY  
CONSULTING ENGINEERS

2200 MAIN STREET  
WEAVERVILLE CA 96093  
530.629.3000

STAMP:

PROJECT:  
PROPOSED SITE  
DEVELOPMENT PLAN

TRINITY FLAVOR LLC  
504 OATMAN ROAD  
HAYFORK CA 96041  
APN: 014-180-95-00

OWNER:  
TRINITY FLAVOR LLC  
3974 SORRENTO VALLEY BLVD  
# 910770  
SAN DIEGO CA 92121-1410

PROJECT PHASE:  
DEVELOPMENT PLAN  
BLDG 2022-00183  
CCL-692

SHEET CONTENTS:  
ROAD GEOMETRY

tcg associates llc ©

DATE: JUNE 11 2023

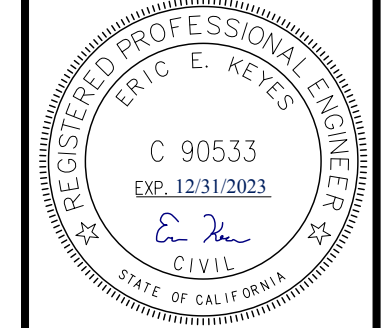
SCALE: AS SHOWN

DRAWN BY: TCG  
CHECKED BY: TCG  
JOB NO: 014-180-95-00

SHEET No:

NOTE: ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE. REPORT ALL DISCREPANCIES IN WRITING TO TCG ASSOCIATES LLC FOR CLARIFICATION. DRAWINGS, IMAGES AND DESIGNS ON THIS PAGE OF PLANS ARE THE PROPERTY OF TCG ASSOCIATES LLC AND SHALL NOT BE REUSED, PRINTED OR COPIED WITHOUT PRIOR WRITTEN PERMISSION.

EP.6

THOMAS GOCHA  
DESIGN  
PLANNING  
CONSULTING  
PROJECT MANAGEMENT

TRINITY COUNTY  
PO BOX 518  
HAYFORK, CA 96041  
805.45.1.84.1  
tcgochadesign.net

VENTURA COUNTY  
SANTA BARBARA COUNTY  
1072 CASITAS PASS ROAD  
CARPINTERIA, CA 93013  
805.45.1.84.1  
tcgochadesign.net

www.gochadesign.net

ENGINEER:  
TRINITY VALLEY  
CONSULTING ENGINEERS  
2200 MAIN STREET  
WEAVERVILLE CA 96093  
530.629.3000

STAMP:

PROJECT:  
PROPOSED SITE  
DEVELOPMENT PLAN

TRINITY FLAVOR LLC  
504 OATMAN ROAD  
HAYFORK CA 96041  
APN: 014-180-95-00

OWNER:  
TRINITY FLAVOR LLC  
3974 SORRENTO VALLEY BLVD  
#910770  
SAN DIEGO CA 92121-1410

PROJECT PHASE:  
DEVELOPMENT PLAN  
BLDG 2022-00183  
CCL-692

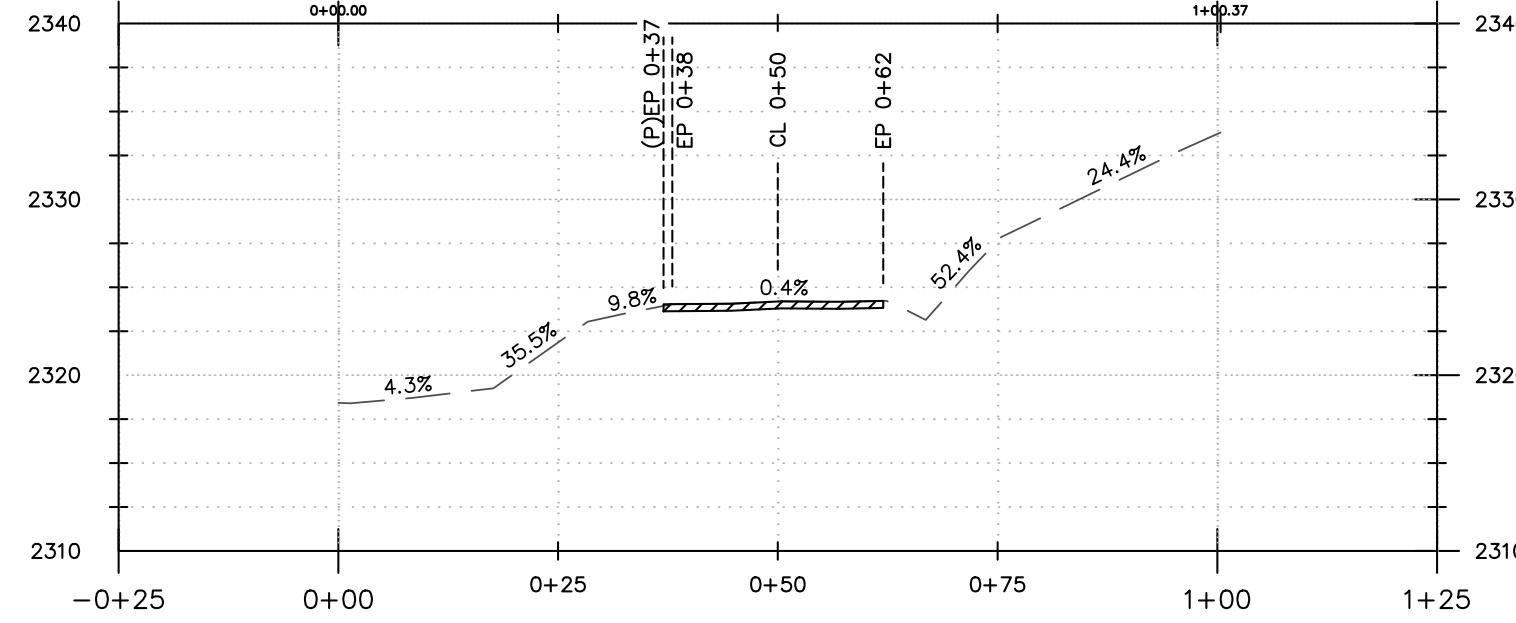
SHEET CONTENTS:  
ROAD GEOMETRY

tcg associates llc ©

REV	DATE	DESCRIPTION	APP	CHK	BY

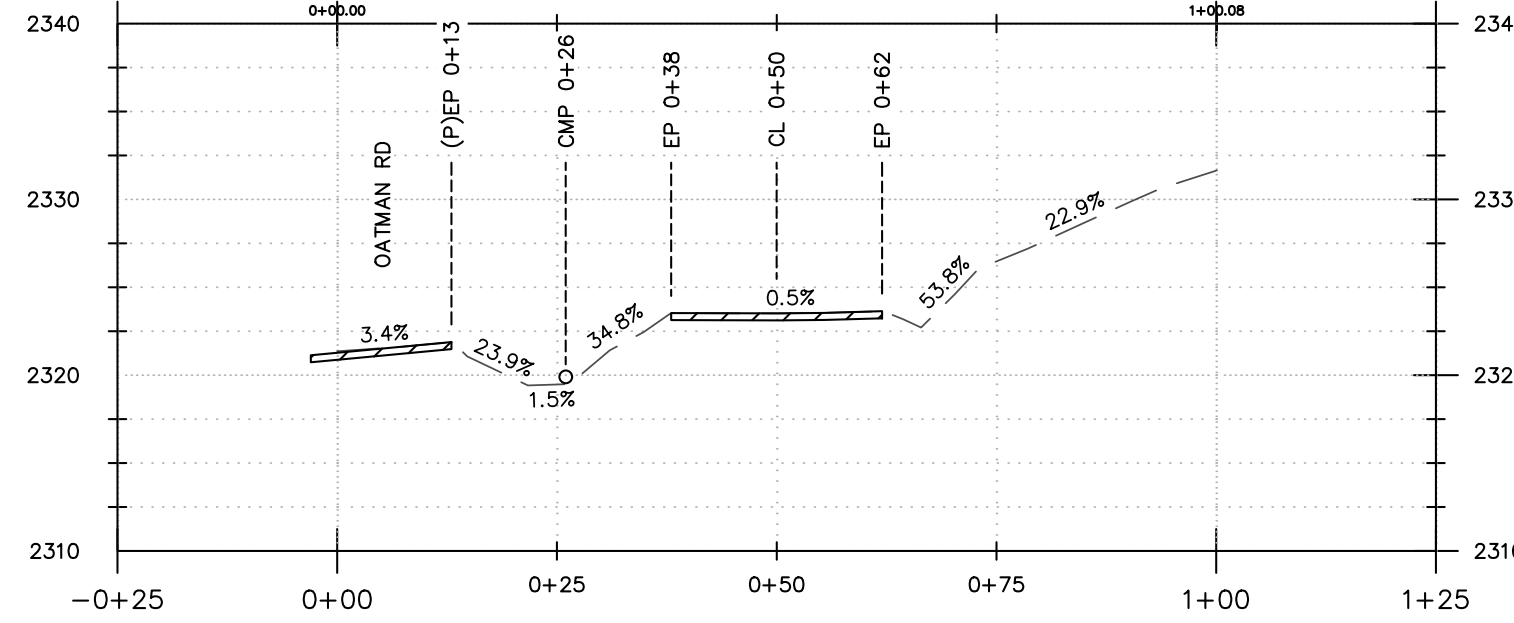
**SECTION VIEW 6+25**

HOR SCALE: 1" = 20'  
VER SCALE: 1" = 10'



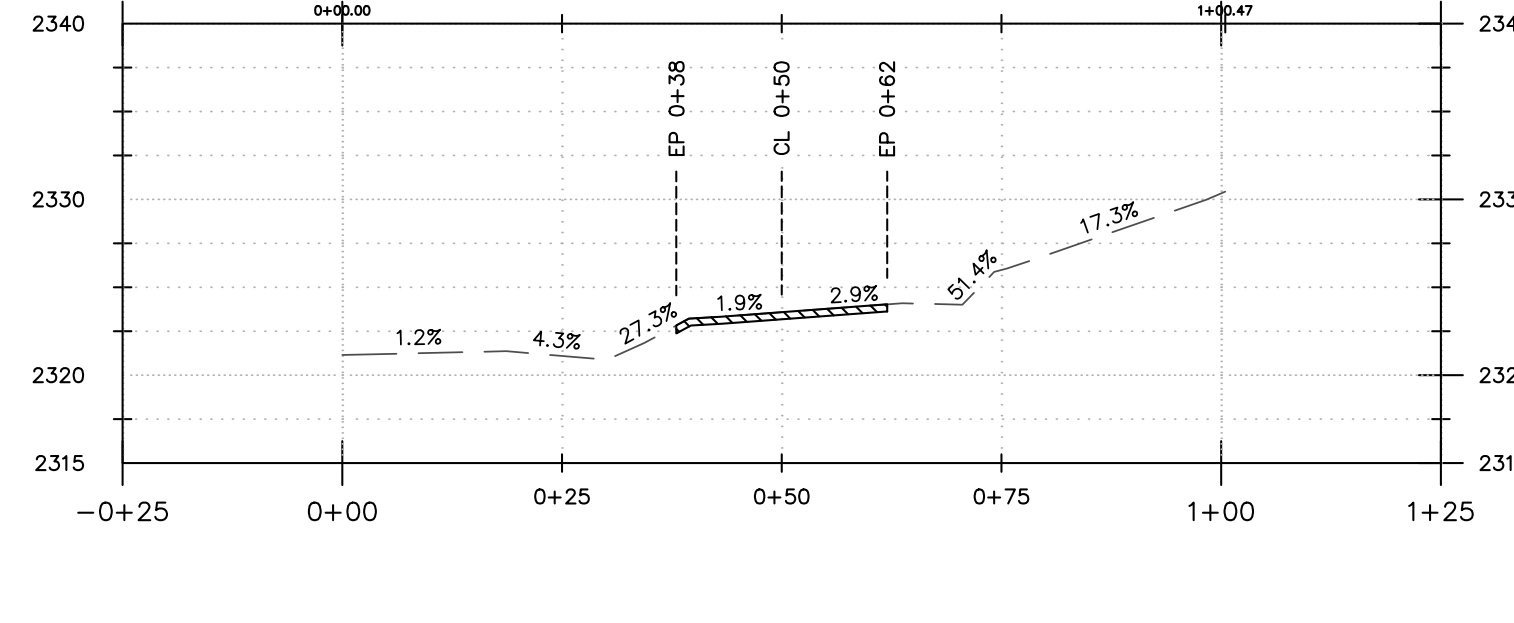
**SECTION VIEW 7+25**

HOR SCALE: 1" = 20'  
VER SCALE: 1" = 10'



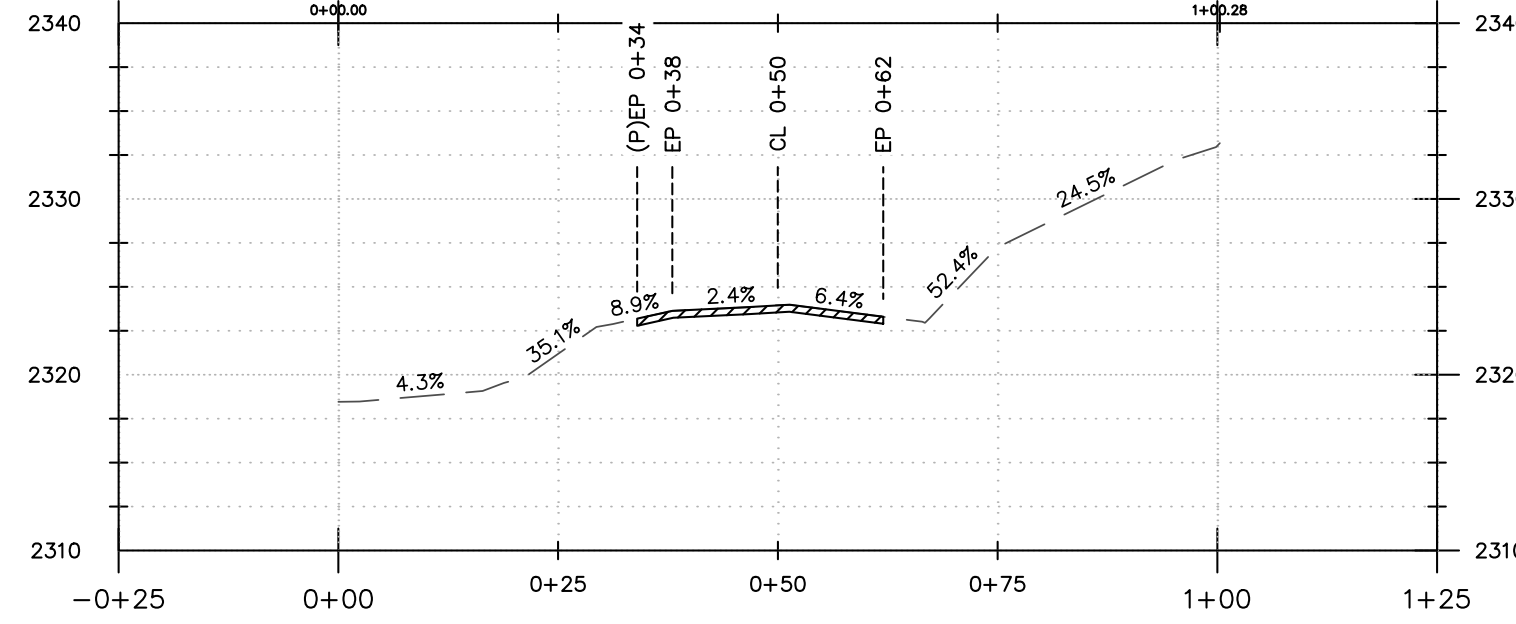
**SECTION VIEW 8+25**

HOR SCALE: 1" = 20'  
VER SCALE: 1" = 10'



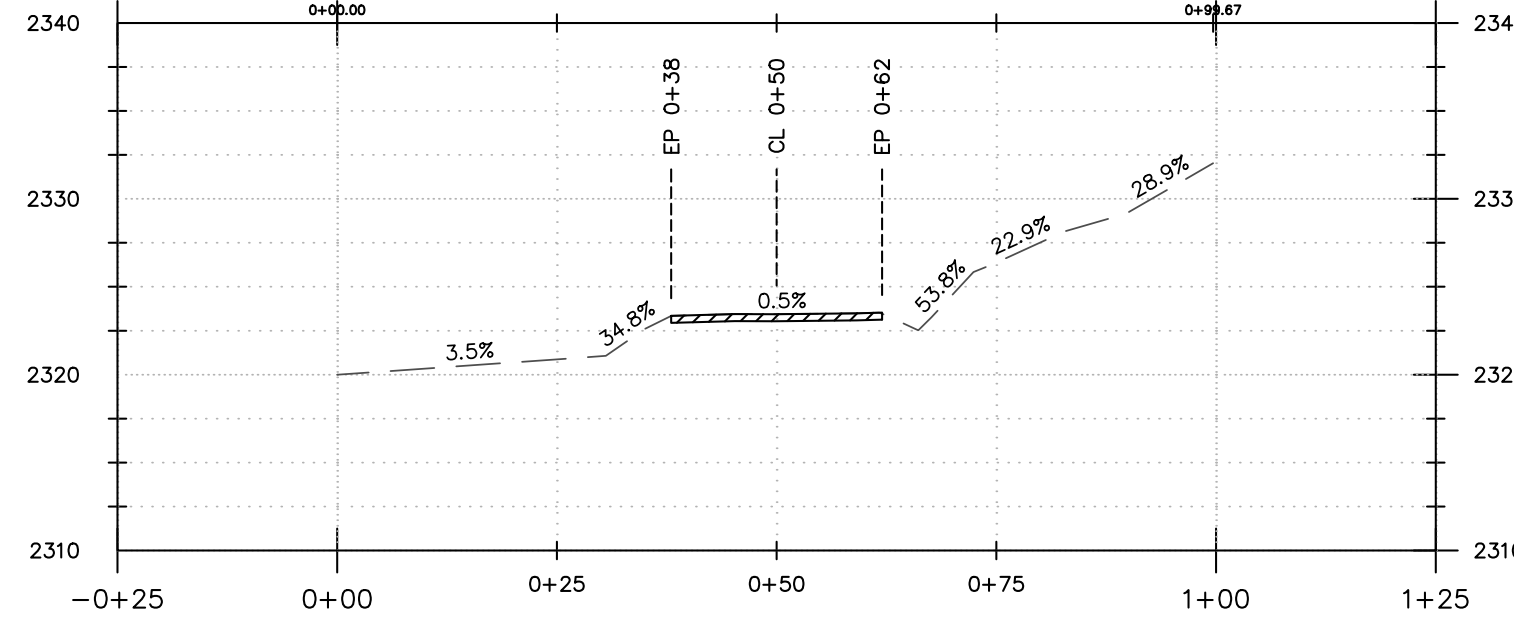
**SECTION VIEW 6+50**

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VER SCALE: 1" = 10'



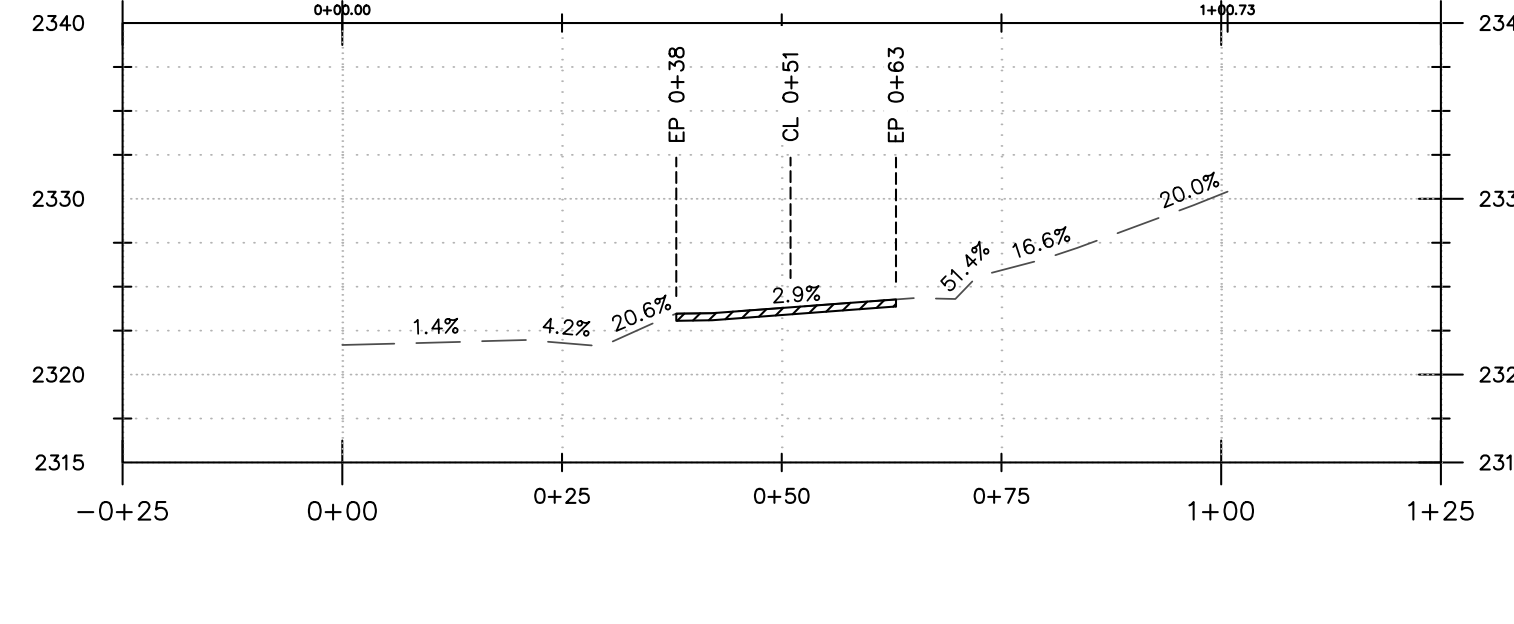
**SECTION VIEW 7+50**

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VER SCALE: 1" = 10'



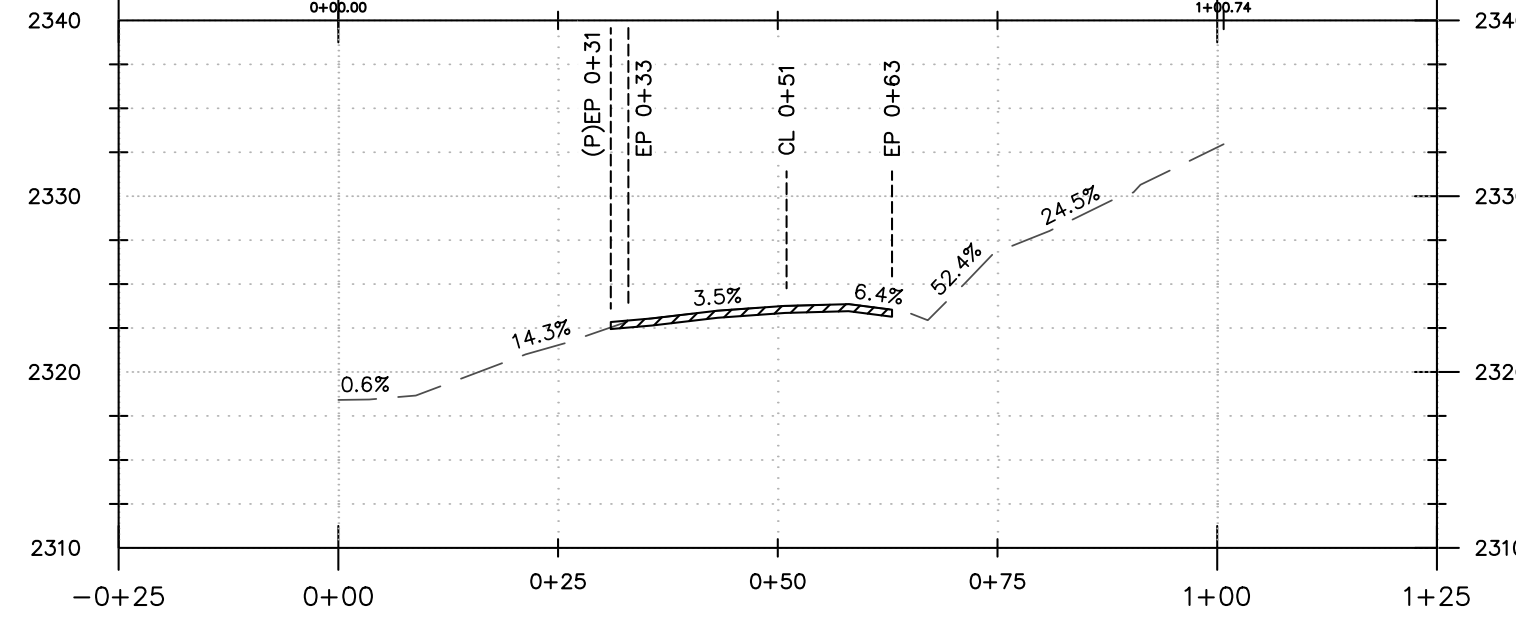
**SECTION VIEW 8+50**

HOR SCALE: 1" = 20'  
VER SCALE: 1" = 10'



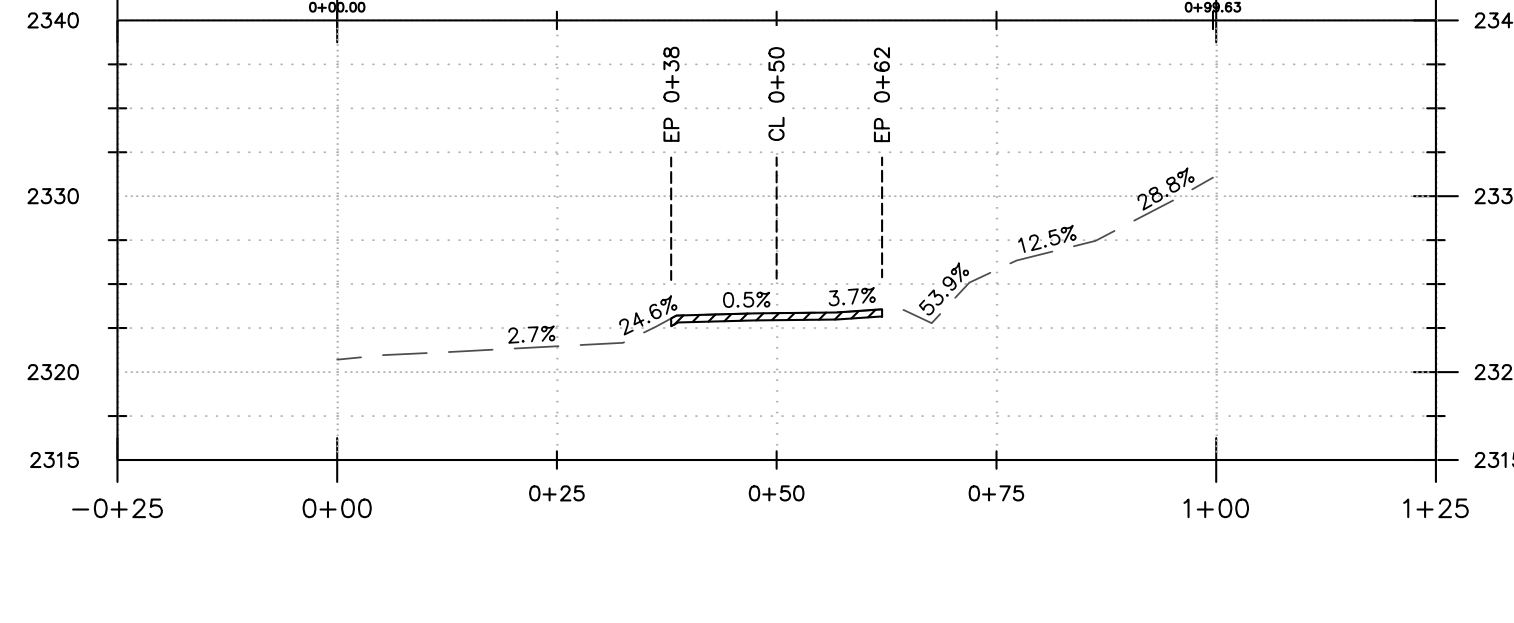
**SECTION VIEW 6+75**

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VER SCALE: 1" = 10'



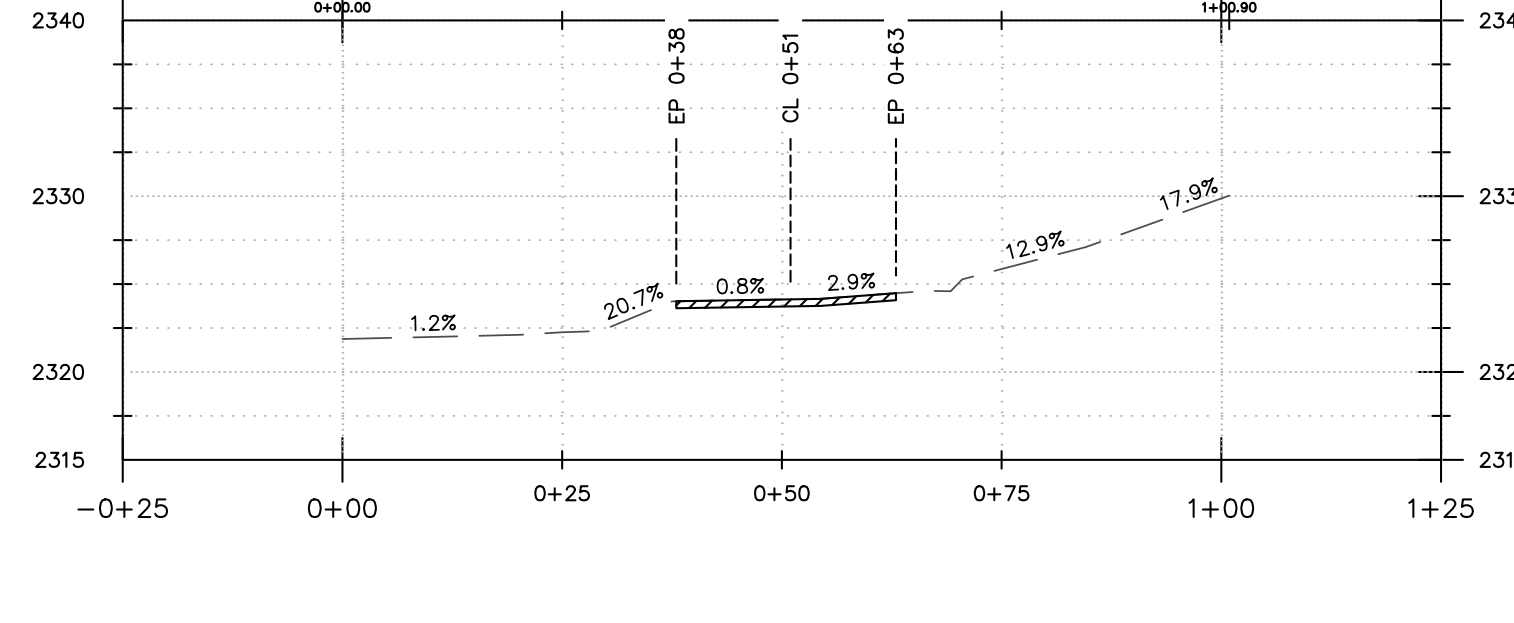
**SECTION VIEW 7+75**

HOR SCALE: 1" = 20'  
VER SCALE: 1" = 10'



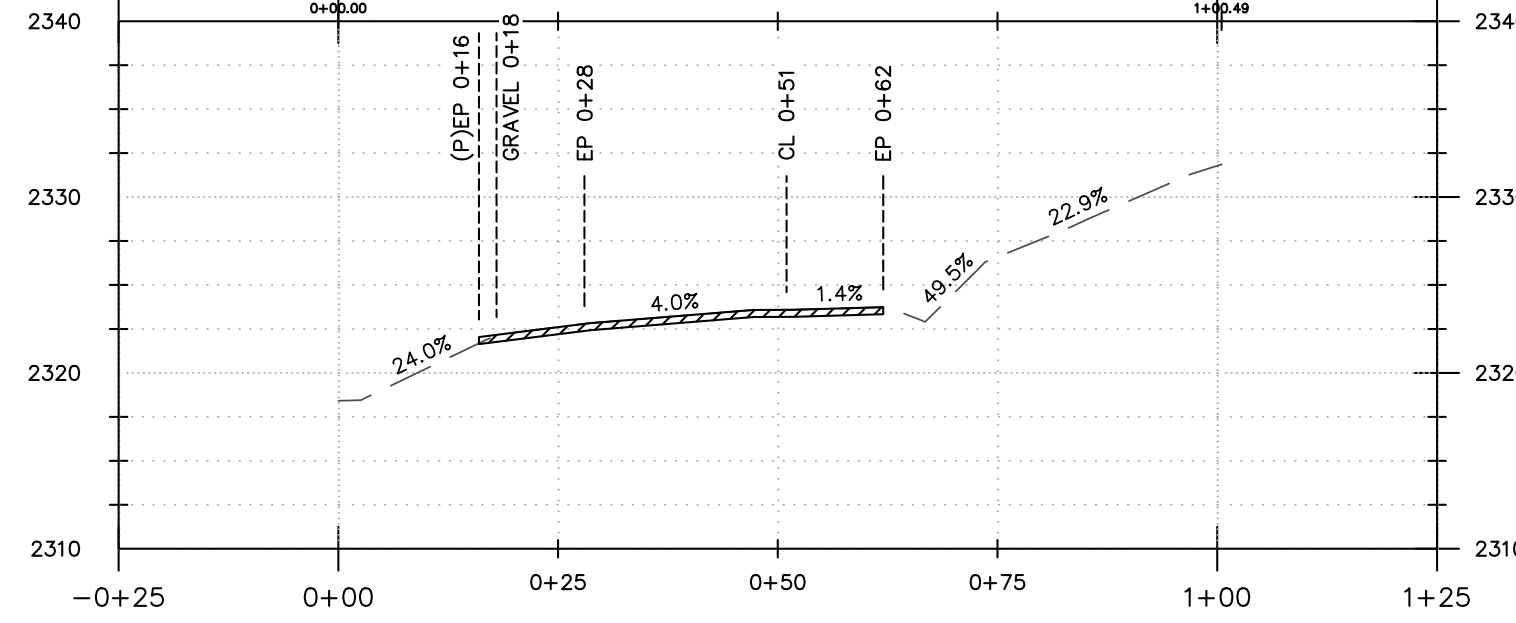
**SECTION VIEW 8+75**

HOR SCALE: 1" = 20'  
VER SCALE: 1" = 10'



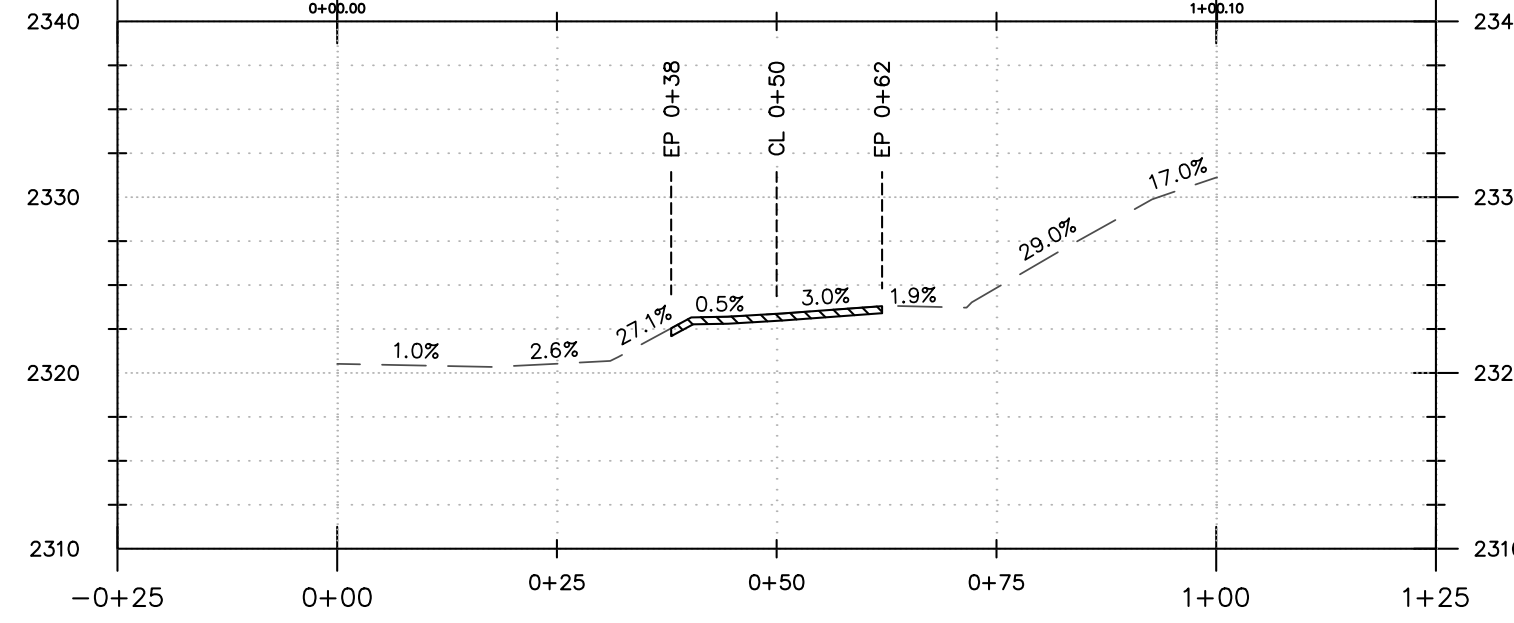
**SECTION VIEW 7+00**

HOR SCALE: 1" = 20'  
VER SCALE: 1" = 10'



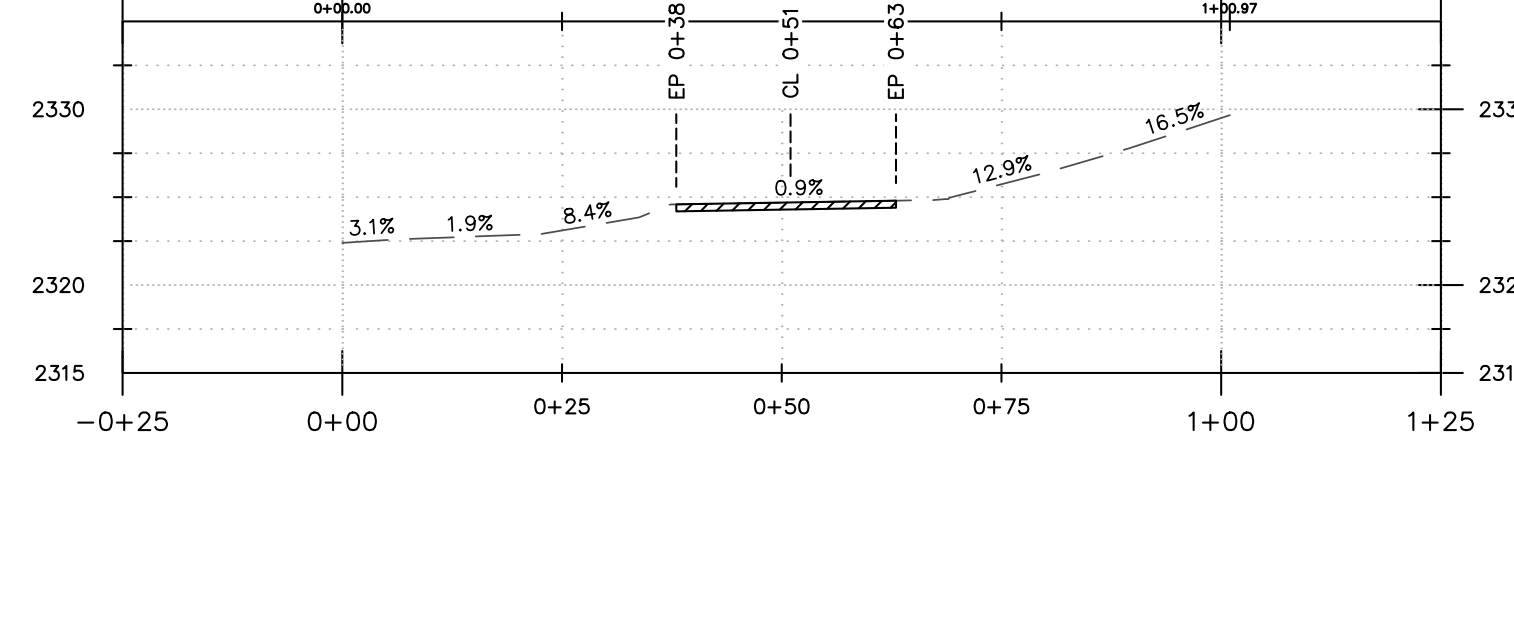
**SECTION VIEW 8+00**

HOR SCALE: 1" = 20'  
VER SCALE: 1" = 10'



**SECTION VIEW 9+00**

HOR SCALE: 1" = 20'  
VER SCALE: 1" = 10'



TRINITY FLAVOR LLC  
504 OATMAN ROAD  
HAYFORK CA 96041  
APN 014-180-95-00  
TRINITY, CALIFORNIA  
**CROSS SECTIONS**

DATE OF ISSUE: JUNE 2023  
SCALE: 1" = 20'  
PROJECT NO: 1331.31  
DRAWING NO: C 5 / 6

DATE: JUNE 11 2023

SCALE: AS SHOWN

DRAWN BY: TCG

CHECKED BY: TCG

JOB No: 014-180-95-00

SHEET No:

**EP.7**

NOTE: ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE. REPORT ALL DISCREPANCIES IN WRITING TO TCG ASSOCIATES LLC FOR CLARIFICATION. DRAWINGS, IMAGES AND DESIGNS ON THIS PAGE OF PLANS ARE THE PROPERTY OF TCG ASSOCIATES LLC, AND SHALL NOT BE REUSED, PRINTED OR COPIED WITHOUT PRIOR WRITTEN PERMISSION.






**THOMAS GOCHA**  
DESIGN  
PLANNING  
CONSULTING  
PROJECT MANAGEMENT

**ASSOCIATES  
LLC**

TRINITY COUNTY  
PO BOX 578  
HAYFORK CA 96041  
805.451.8441  
tcggochadesign.net

VENTURA COUNTY  
1072 CASITAS PASS ROAD  
CARPINTERIA, CA 93013  
805.451.8441  
tcggochadesign.net

www.gochadesign.net

ENGINEER:  
TRINITY VALLEY  
CONSULTING ENGINEERS

2200 MAIN STREET  
WEAVERVILLE CA 96093  
530.629.3000

STAMP:

PROJECT:  
PROPOSED SITE  
DEVELOPMENT PLAN

TRINITY FLAVOR LLC  
504 OATMAN ROAD  
HAYFORK CA 96041  
AFN: 014-180-95-00

OWNER:  
TRINITY FLAVOR LLC  
3974 SORRENTO VALLEY BLVD  
#910770  
SAN DIEGO CA 92121-1410

PROJECT PHASE:  
DEVELOPMENT PLAN  
BLDG2022-00183  
CCL-692

SHEET CONTENTS:  
TRAFFIC CONTROL  
PLAN T13A

tcg associates llc ©

DATE: JUNE 11 2023

SCALE: AS SHOWN

DRAWN BY: TCG

CHECKED BY: TCG

JOB No: 014-180-95-00

SHEET No:

EP.9

Dist	COUNTY	ROUTE	POST MILES TOTAL PROJECT	SHEET No.	TOTAL SHEETS

*Charles D. Suzko*  
REGISTERED CIVIL ENGINEER

August 1, 2022  
PLANS APPROVAL DATE

Charles D. Suzko  
No. C43029  
Exp. 3-31-24  
CIVIL  
STATE OF CALIFORNIA

THE STATE OF CALIFORNIA OR ITS OFFICERS  
OR AGENTS SHALL NOT BE RESPONSIBLE FOR  
THE ACCURACY OR COMPLETENESS OF SCANNED  
COPIES OF THIS PLAN SHEET.

LEGEND:

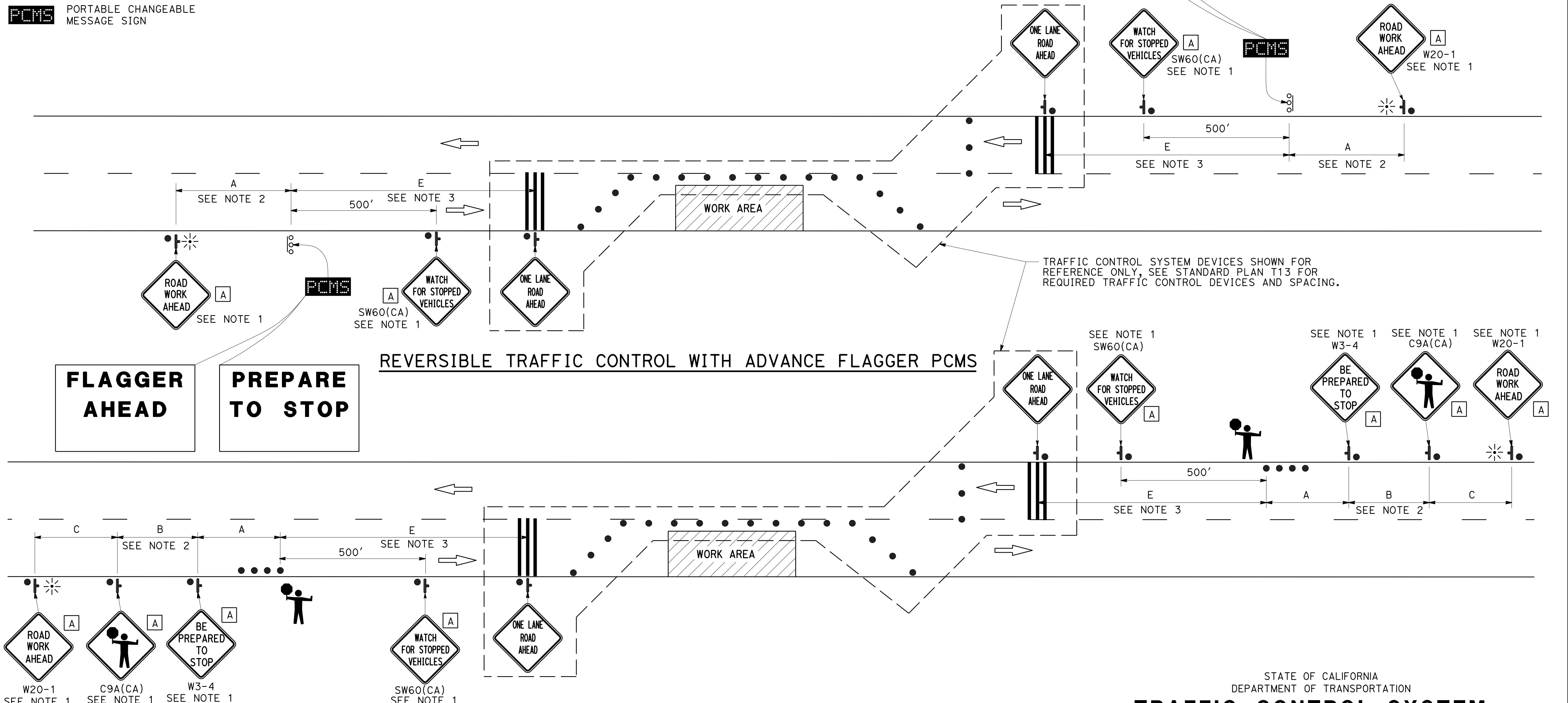
- TRAFFIC CONE
- ⊥ TEMPORARY TRAFFIC CONTROL SIGN
- ⊛ PORTABLE FLASHING BEACON
- ☉ TRAILER
- 🚧 FLAGGER
- PCMS PORTABLE CHANGEABLE MESSAGE SIGN

SIGN PANEL SIZE (Min):

A 48" x 48"

**FLAGGER  
AHEAD**

**PREPARE  
TO STOP**



TRAFFIC CONTROL SYSTEM DEVICES SHOWN FOR REFERENCE ONLY, SEE STANDARD PLAN T13 FOR REQUIRED TRAFFIC CONTROL DEVICES AND SPACING.

STATE OF CALIFORNIA  
DEPARTMENT OF TRANSPORTATION

**TRAFFIC CONTROL SYSTEM  
TWO LANE CONVENTIONAL  
HIGHWAYS**

NO SCALE

- NOTES:
- Sign must be equipped with at least two flags for daytime closures. Flags must be orange in color and at least 16 inches by 16 inches in size. Place flashing beacons as shown for closures during hours of darkness.
  - See Standard Plan T9, Table 3 for advanced warning sign spacing.
  - See Standard Specification 12-4.02C.

**T13A**

2022 STANDARD PLAN T13A

6-24-22

314

REVISIONS:	DATE:

DIST	COUNTY	ROUTE	POST MILES TOTAL PROJECT	SHEET TOTAL No. SHEETS

*Charles D. Suszka*  
 REGISTERED CIVIL ENGINEER  
 August 1, 2022  
 PLANS APPROVAL DATE  
THE STATE OF CALIFORNIA OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF SCANNED COPIES OF THIS PLAN SHEET.

REGISTERED PROFESSIONAL ENGINEER  
 Charles D. Suszka  
 No. C43029  
 Exp. 3-31-24  
 CIVIL  
 STATE OF CALIFORNIA

**THOMAS GOCHA**  
 DESIGN PLANNING CONSULTING PROJECT MANAGEMENT

**ASSOCIATES LLC**

TRINITY COUNTY  
 PO BOX 578  
 HAYFORK CA 96041  
 805.451.8441  
 tcg@gochadesign.net

VENTURA COUNTY  
 1072 CASITAS PASO ROAD  
 CARPINTERIA, CA 93013  
 805.451.8441  
 tcg@gochadesign.net

www.gochadesign.net

**2022 STANDARD PLAN T13B**

ENGINEER:  
 TRINITY VALLEY CONSULTING ENGINEERS  
 2200 MAIN STREET  
 WEAVERVILLE CA 96093  
 530.629.3000

STAMP:

PROJECT:  
 PROPOSED SITE DEVELOPMENT PLAN  
 TRINITY FLAVOR LLC  
 504 OATMAN ROAD  
 HAYFORK CA 96041  
 APN: 014-180-95-00

OWNER:  
 TRINITY FLAVOR LLC  
 3974 SORRENTO VALLEY BLVD  
 #910770  
 SAN DIEGO CA 92121-1410

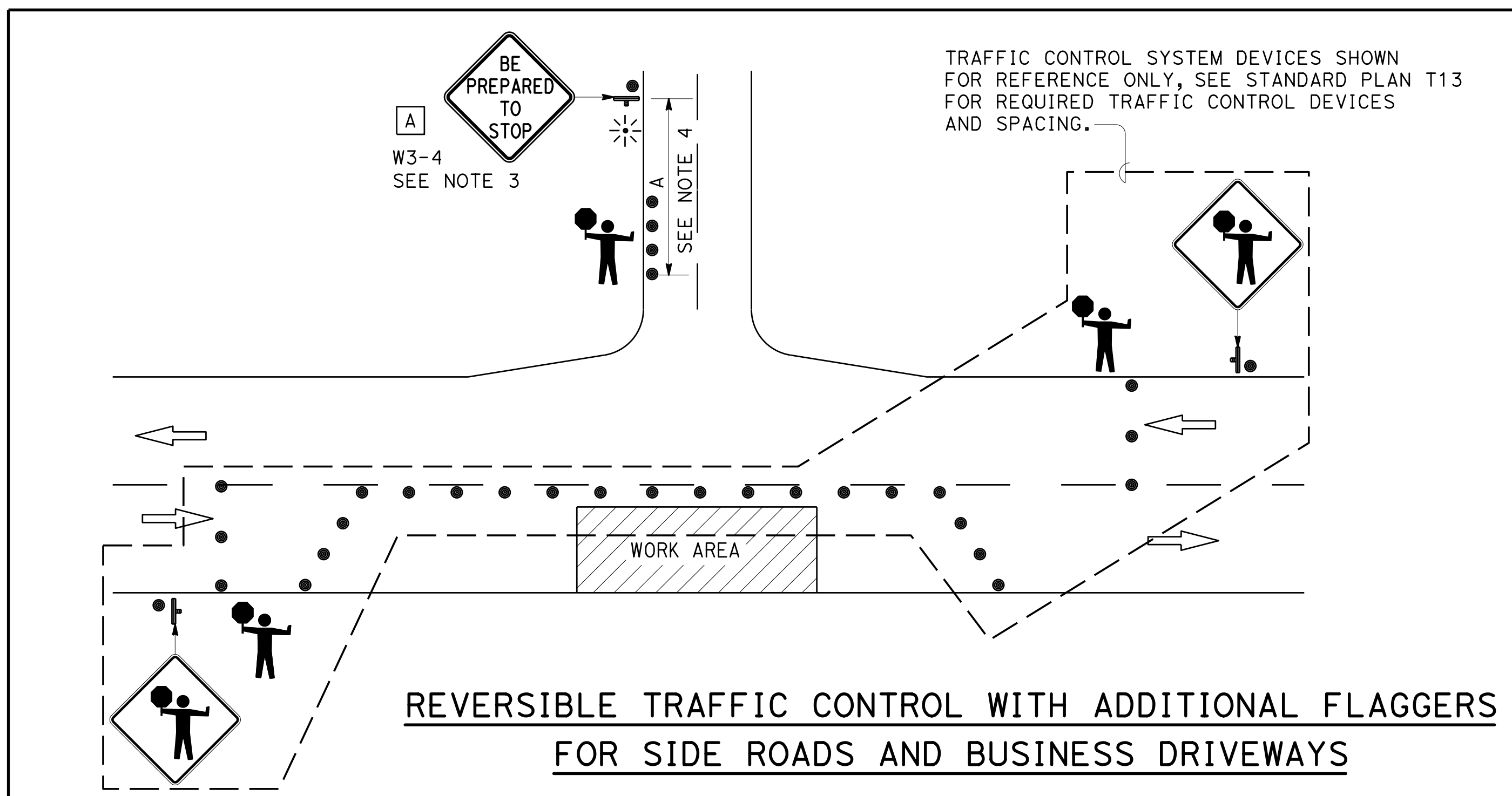
PROJECT PHASE:  
 DEVELOPMENT PLAN  
 BLDG2022-00183  
 CCL-692

SHEET CONTENTS:  
 TRAFFIC CONTROL PLAN T13B

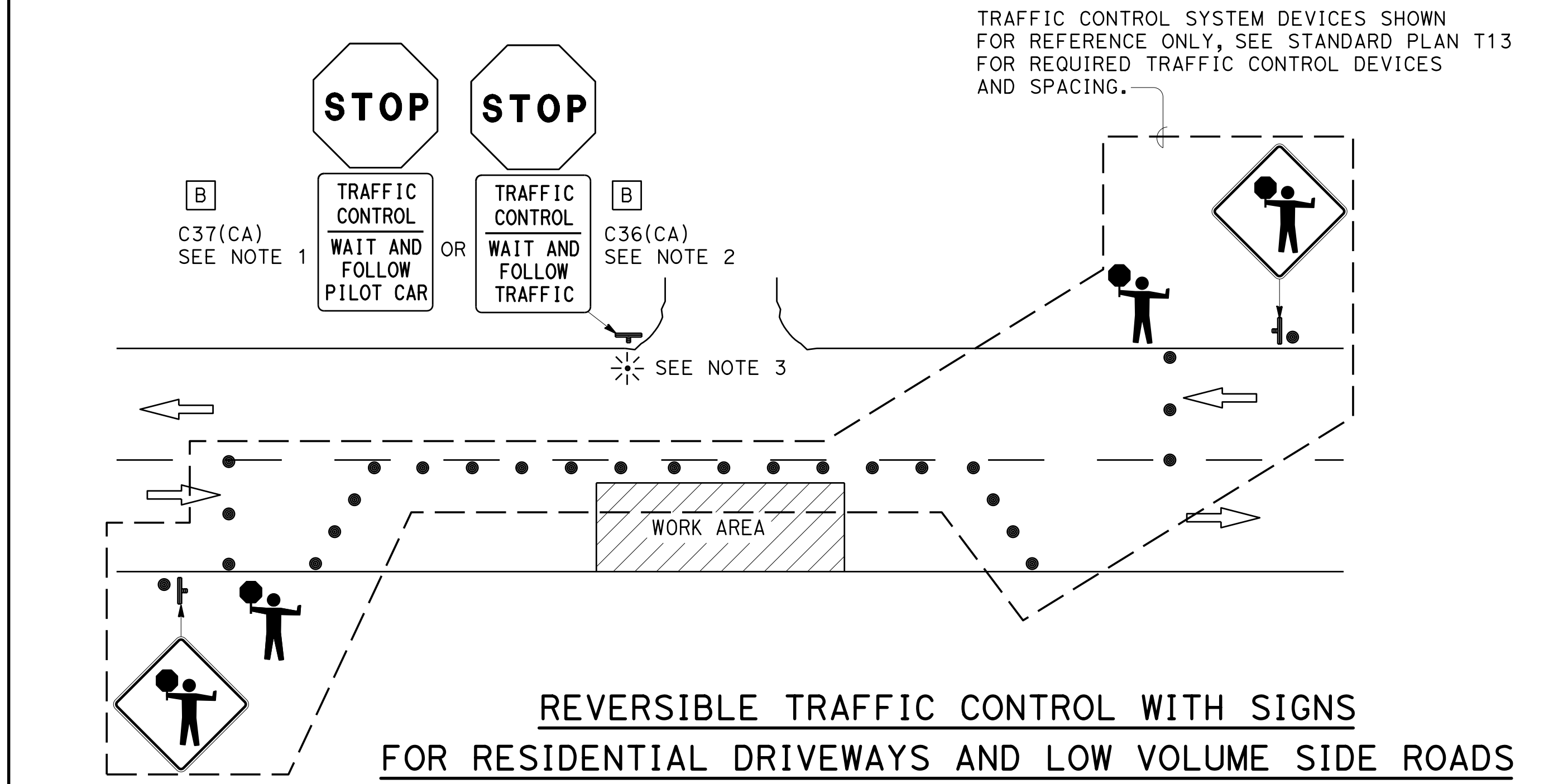
DATE: JUNE 11 2023  
 SCALE: AS SHOWN  
 DRAWN BY: TCG  
 CHECKED BY: TCG  
 JOB No: 014-180-95-00

SHEET No:

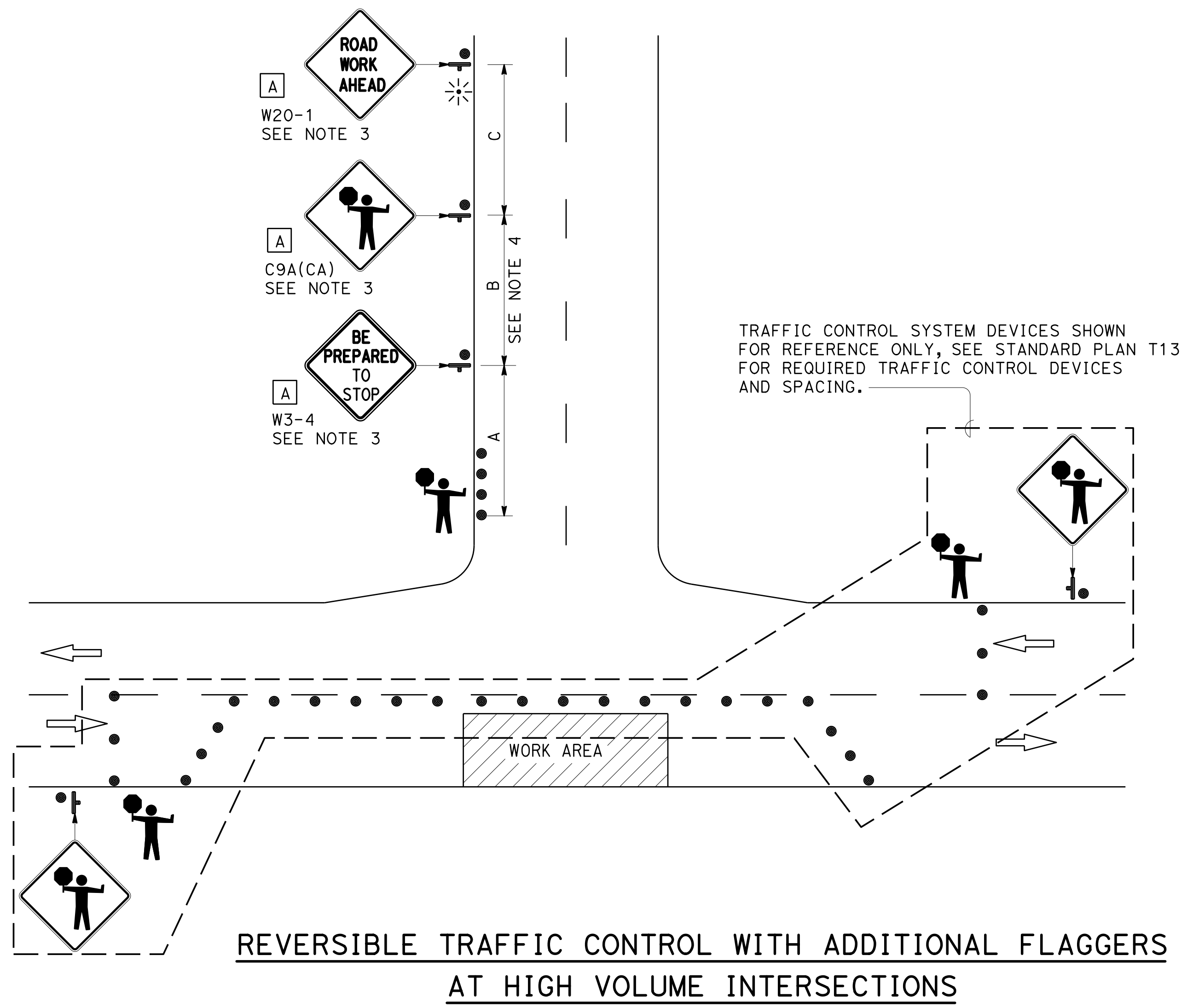
**EP.10**



**REVERSIBLE TRAFFIC CONTROL WITH ADDITIONAL FLAGGERS FOR SIDE ROADS AND BUSINESS DRIVEWAYS**



**REVERSIBLE TRAFFIC CONTROL WITH SIGNS FOR RESIDENTIAL DRIVEWAYS AND LOW VOLUME SIDE ROADS**



**REVERSIBLE TRAFFIC CONTROL WITH ADDITIONAL FLAGGERS AT HIGH VOLUME INTERSECTIONS**

**NOTES:**

- Place C37(CA) sign when pilot car is used.
- Place C36(CA) sign when pilot car is not used.
- Sign must be equipped with at least two flags for daytime closures. Flags must be orange in color and at least 16 inches by 16 inches in size. Place flashing beacons as shown for closures during hours of darkness.
- See Standard Plan T9, Table 3 for advance warning sign spacing.

**LEGEND:**

- TRAFFIC CONE
- ⌋ TEMPORARY TRAFFIC CONTROL SIGN
- ⚡ PORTABLE FLASHING BEACON
- 👤 FLAGGER

**SIGN PANEL SIZE (Min)**

- A 48" x 48"
- B 36" x 42"

STATE OF CALIFORNIA  
 DEPARTMENT OF TRANSPORTATION  
**TRAFFIC CONTROL SYSTEM**  
**TWO LANE CONVENTIONAL HIGHWAYS**  
 NO SCALE

**T13B**

6-24-22

NOTE: ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE. REPORT ALL DISCREPANCIES IN WRITING TO TCG ASSOCIATES LLC FOR CLARIFICATION. DRAWINGS, IMAGES AND DESIGNS ON THIS PAGE OF PLANS ARE THE PROPERTY OF TCG ASSOCIATES LLC AND SHALL NOT BE REUSED, PRINTED OR COPIED WITHOUT PRIOR WRITTEN PERMISSION.

ATTACHMENT D

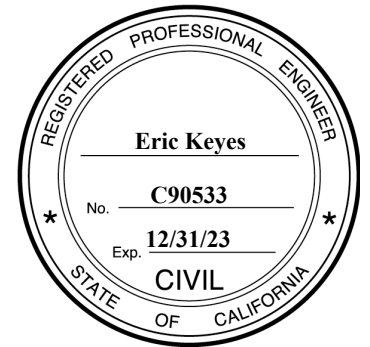
# Design Standard Decision Document

Prepared by:



---

Eric Keyes, PE  
Trinity Valley Consulting Engineers, Inc.



Submitted by:

<u>Eric Keyes</u>	<u>6/26/2023</u>	<u>530-623-4446</u>
Name, Design Senior	Date	Telephone

*(Select all that are applicable)*

*Includes exceptions to District-delegated Design Standards (Section 2B)*

Concurred by:

Approved by:

_____	_____	_____
Name, Office Chief <i>or</i>	Date	Telephone
Name, Deputy District Director for Design		

*(Select only one)*

*Includes exceptions to Non-delegated Design Standards (Section 2A)*

Not Applicable:

Approved by:

\_\_\_\_\_

District 2 -Trinity County - Route 3- Post Mile 5.64  
Expenditure Authorization (EA) - Project Number or Permit Number

Name, Project Delivery Coordinator  
Headquarters Division of Design

*Date*

*Telephone*

## *Instructions for Signature Sheet*

*(Delete from final document)*

Modify the signature blocks as needed to represent the specific district delegation approval authority.

### Prepared by:

Typically the project engineer, a Transportation Engineer (Civil), Range D. The design standard decision document must be prepared by a registered civil engineer in responsible charge of the work (as defined by *California Business and Professions Code*, Section 6703), or other licensed professional practicing within the scope of their license. Include the design unit for Caltrans engineers or the company name for consultant engineers.

### Submitted by:

Typically the design senior, a Senior Transportation Engineer, Caltrans. The first-line supervisor of the project engineer. For projects-funded-by-others this could be the district oversight engineer or the district permit engineer for encroachment permit projects.

### Concurrence by and approved by:

For design standards where the approval authority is the Headquarters Project Delivery Coordinator:

- Concurrence is given by the district office chief, design manager, or deputy District Director for Design. Typically, the concurrence is from a Supervising Transportation Engineer, Caltrans (the first-line supervisor of the design senior and second-line supervisor of the project engineer) or could be from a Principal Transportation Engineer, Caltrans.
- Approval is given by the Headquarters Project Delivery Coordinator, a Supervising Transportation Engineer, Caltrans.

For design standards where the approval authority has been delegated to the District Director:

- Use of a concurrence signature block is by district preference.
- Approval is given by the District Director's approval authority; typically from an office chief, design manager, or deputy District Director for Design that has been delegated the approval authority.

District 2 -Trinity County - Route 3- Post Mile 5.64  
Expenditure Authorization (EA) - Project Number or Permit Number

**1. PROPOSED PROJECT**

**A. Project Description:**

*Insert text here*

**B. Existing Highway:**

*The proposed project is located at post mile 5.64 of existing State Route 3 at the intersection of Oatman Road (private driveway) in the town of Hayfork, Trinity County, CA 96041.*

**C. Safety Improvements:**

*The improvements consist of paving an existing driveway encroachment (Oatman Road). The encroachment is nonstandard (described in section B) and has existed since 1993.*

**D. Total Project Cost:**

*The paving project and associated incidentals within the Caltrans Right of Way are expected to cost \$10,000.*

**2. FEATURES REQUIRING DESIGN DECISION DOCUMENTATION**

**A. Design Features with Headquarters Approval Authority**

**1) Design Feature Number 1**

Nonstandard Feature:

*Insert text here*

Design Standard for Which Documentation Is Required:

*Insert text here*

Reason for not Using Design Standard:

*Insert text here*

Added Cost to Make Standard:

*Insert text here*

**2) Design Feature Number 2**



*Add additional sub-headings 1, 2, 3, etcetera to document each design feature under heading A., otherwise delete this sub-heading.*

**B. Design Features with District Delegated Approval Authority**

**1) Design Feature Number 1**

Nonstandard Feature:

*The existing driveway has a 352-foot stopping sight distance to the north. If 55mph is the design speed, then a 500-foot stopping sight distance is required.*

Design Standard for Which Documentation Is Required:

*Stopping Sight Distance*

Reason for not Using Design Standard:

*This is an existing condition and is cost prohibitive to correct. The project is located in a 35mph cautionary speed. We are seeking your consideration to a reduction in design speed at this location when factoring in your decision.*

Added Cost to Make Standard:

*Not achievable.*

**3. TRAFFIC DATA**

*A traffic study has not been conducted for this project. Caltrans may have additional traffic data from surrounding studies.*

**4. COLLISION ANALYSIS**

*A collision analysis has not been conducted for this project. Caltrans may have additional collision data from surrounding analysis.*

**5. FUTURE CONSTRUCTION**

*No other future construction plans are anticipated at this time.*

**6. REVIEWS AND CONCURRENCE**

*The applicant and owner would like to request Caltrans review and concurrence for this project.*

**7. ENVIRONMENTAL DETERMINATION/DOCUMENT**

*Consult with the district environmental unit to determine the appropriate federal environmental determination/document for the project and if the “blanket” categorical exclusion is applicable. Construct an appropriate project attribute statement by choosing and modifying the following:*

The project location (~~is part~~/is not part) of the National Highway System.

*And choose one:*

~~A federal environmental (determination/document) (will be/has been) approved specifically for this project to comply with the *National Environmental Policy Act of 1969* (NEPA).~~

The project conforms to the conditions for applying the “blanket” categorical exclusion for approval of design exceptions, listed in the memorandum signed by Jay Novell on March 3, 2008.

~~Compliance with the *National Environmental Policy Act of 1969* (NEPA) is not applicable to this project.~~

## **8. ATTACHMENTS**

*See attached encroachment permit application and design drawings.*

Memorandum

*Making Conservation  
a California Way of Life*

To: Thomas Gocha  
(805) 451-8491  
tcg@gochadesign.net

Date: June 30, 2023  
File: Tri3 PM 5.54/5.74  
CPRA: R024183-062723

From: Gerry Reyes  
District 2, Traffic Investigations  
[gerry.reyes@dot.ca.gov](mailto:gerry.reyes@dot.ca.gov)

Subject: **CRASH ANALYSIS FOR CPRA R024183-062723**

Table 1A summarizes the crash rates on SR3 in Trinity County for the post miles limits of 5.54/5.74. The Table B report was generated on **06/30/23** and it depicts existing crash rates per million vehicles for the most recent 36-month period from **10/01/19** to **09/30/22** from the Traffic accident Surveillance and Analysis System (TASAS).

**TABLE 1A**  
**TASAS Table B Crash Rates**

Segment	TOTAL No. of Crashes	ACTUAL RATES (per million vehicles)			AVERAGE RATES (per million vehicles)		
		Fatal	Fatal+ Injury	Total (1)	Fatal	Fatal + Injury	Total (1)
TRI3 PM 5.54/5.74	0	0.000	0.00	0.00	0.016	0.32	0.70

The were no reported crashes within the requested limits.

The data provided is protected by 23 U.S.C. § 407, and the data shall not be subject to discovery, nor admitted as evidence in any applicable legal proceeding against the State of California. The State of California, Department of Transportation does not, by allowing the release of this information waive any rights it has under 23 U.S.C. § 407.

You can reach me at 225-3479 if you have any questions or need any additional information.



Gerry Reyes,  
District 2, Traffic Safety